



**CITY OF ST. PETERSBURG
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

**DEVELOPMENT REVIEW COMMISSION
STAFF REPORT**

**VARIANCE
PUBLIC HEARING**

According to Planning & Development Services Department records, **no Commission** member or his or her spouse has a direct or indirect ownership interest in real property located within 1,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT SERVICES DEPARTMENT, for Public Hearing and Executive Action on **Wednesday, March 1, 2023 at 1:00 P.M.** at Council Chambers, City Hall, located at 175 5th Street North, St. Petersburg, Florida.

CASE NO.: 22-54000070

PLAT SHEET: A-30

REQUEST: Approval of a variance to the minimum required lot width to create two (2) buildable lots from two (2) platted lots in common ownership.

OWNER: 1837 Bayou Grande LLC
2805 Dr Martin Luther King Jr
Saint Petersburg, Fl 33704

ADDRESS: 1837 Bayou Grande Blvd Ne

PARCEL ID NO.: 33-30-17-81278-017-0070

ZONING: Neighborhood Suburban - 1 (NS-1)

Lot	Required Lot Width	Requested	Variance	Magnitude
16.20.020.6. - Maximum development potential : Minimum Lot Size				
Lot 7	75-feet	57-feet	18-feet	24 %
Lot 8	75-feet	52.4-feet	22.6-feet	30 %

BACKGROUND: The subject property consists of two lots of record (Lots 7 and 8 of the Edgewater Section of Shore Acres Subdivision) and is located within the Shore Acres Neighborhood. The subject property is a water-front property located to the North of Bayou Grande Boulevard Northeast. The lots are combined under one Parcel ID number by a previous owner. A demolition permit was submitted for structures located on the parcel for the removal of an existing single-family residence and two accessory storage structures in December 2022. Based on permit records the previous home was constructed in 1994. The lot is currently vacant with no associated improvements remaining.

The property is located within the Neighborhood Suburban – 1 (NS-1) zoning district. The minimum lot width for properties in this zoning district is 75-feet and the minimum lot area is 5,800 square feet. The lots were platted in 1970 as recorded on Plat Book 7, Page 22. Lot 7 was platted at 57-feet wide and Lot 8 was platted as 52.4 feet wide. Each lot complies with the minimum lot area, however both Lot 7 and 8 are substandard in lot width. A variance is required to divide the parcel into two separate buildable lots.

The applicant intends to return the lots to their originally platted configuration to construct two new homes on the lot. Staff has analyzed whether the substandard lots are consistent with the development pattern of the neighborhood and surrounding lots. The applicant has provided site plans, floor plans and exterior elevations in their application to show that the minimum standards of the zoning district can be met. The structures proposed on each of the lots will be required to comply with all requirements of the NS-1 zoning district, including setbacks and maximum height.

REQUEST: The applicant requests the approval of a variance to the minimum required lot width to create two (2) buildable lots from two (2) platted lots in common ownership for a property located in the NS-1 Zoning District.

VARIANCE REVIEW CRITERIA:

Consistency Review Standards at Section 16.70.040.1.6 Variances, Generally:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*
 - a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*
 - This variance involves a request for the redevelopment of a site that was previously developed with one single family residence on two platted lots to allow the construction of two new single-family residences.

- b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*
- The subject property consists of two nonconforming lots of record under common ownership. The applicant is requesting to unmerge the lots which would cause both Lot 7 and Lot 8 to be substandard in lot width, thus a variance is required.
- c. *Preservation district. If the site contains a designated preservation district.*
- The property is not located in a preservation district.
- d. *Historic Resources. If the site contains historical significance.*
- This criterion is not applicable.
- e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*
- The site does not contain any significant vegetation or other natural features.
- f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

The development on non-conforming lots in common ownership was restricted by City Code from 1973 to 2003. A code amendment took place in 2003 allowing development on any platted lot of record. City Council addressed concerns that the development of substandard lots would not be consistent with the surrounding development pattern in September 2015 by eliminating the right to build on substandard lots without first obtaining a variance. The ordinance also made clear that the intent of the variance review is to determine whether such development would be consistent with the surrounding neighborhood pattern.

Lot Analysis:

Staff analyzed the homes along the block face and the adjacent block to determine whether the proposed variance request reflects the existing neighborhood pattern and the minimum dimensional requirements of the area. The study area includes a total of 49 homes. The proposed request does reinforce the established neighborhood pattern of one house per platted lot. Out of the 49 lots analyzed in the Study Area Boundary Map 35 or 71% of the lots were developed with one single residence per platted lot.

Per Code Section 16.20.020.6 the minimum lot width for properties in the NS-1 Zoning District is 75-feet wide. The average lot width for the homes in the study area boundary is approximately 70 feet. If approved, one single-family residence would be constructed on Lot 7 and one single family residence would be constructed on Lot 8 each has a lot width of 57-feet and 52.4-feet wide respectively.

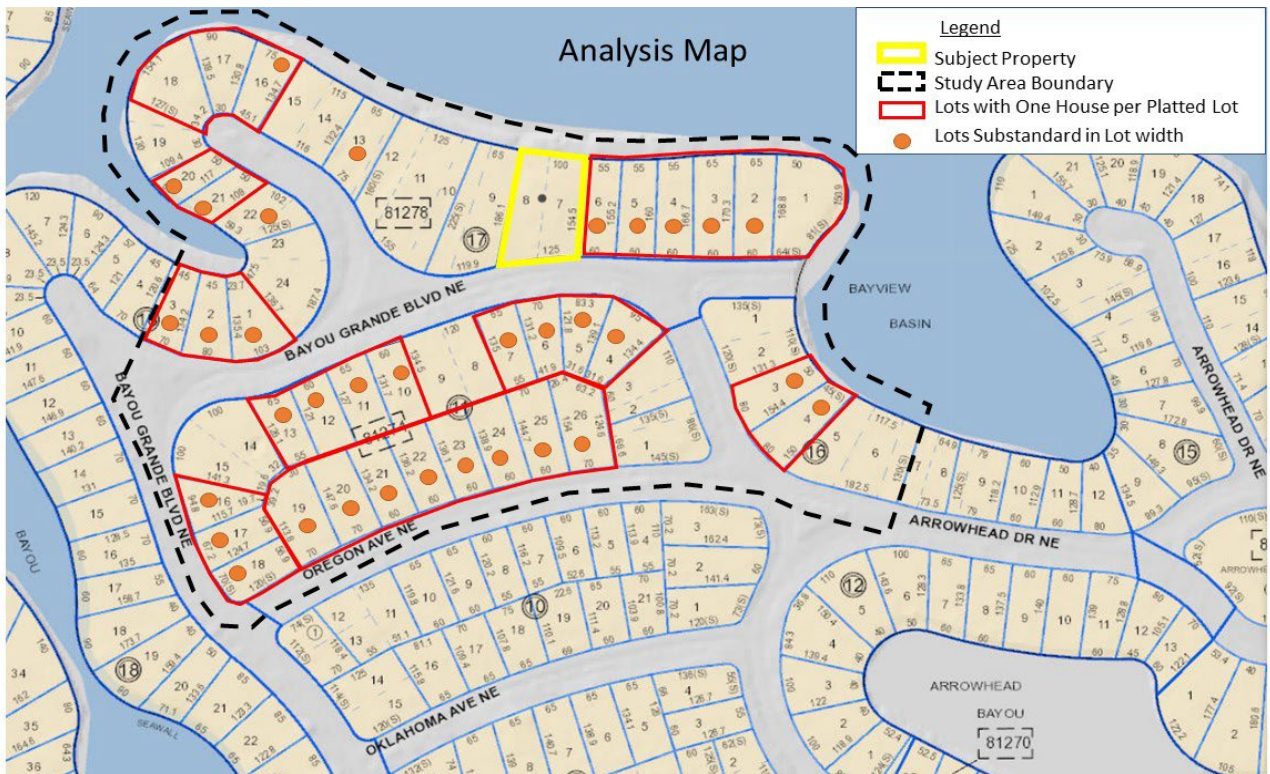
The predominant pattern in the neighborhood is one home per platted lot with most of the lots having substandard lot width, thus approval of the applicants request for approval of a variance to lot width to allow the construction of two new homes on two platted lots is consistent with the neighborhood character.

Table 1: Platted Lots

	Residential/Single-Family	Vacant Lots	Total
Parcels with one platted lot	35 (100%)	0	35 (71%)
Parcels with more than one platted lot	14 (100%)	0	14 (28%)
* Total number of lots in the study area boundary = 49			

Table 2: Conforming vs Non-conforming Lot Widths

Total # of Lots in Study Area	Conforming (Lot width)	Substandard (Lot width)	% Substandard
49	13	36	73%



g. *Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.*

- This criterion is not applicable.

2. *The special conditions existing are not the result of the actions of the applicant;*

The special conditions existing are not the result of the actions of the applicant.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

Literal enforcement of the Code would not result in unnecessary hardship. NS Code Section 16.20.020.6. allows for a maximum development potential of one single-family residence on the subject lot. The applicant is requesting a variance to lot width to allow for the construction of two homes on the parcel.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

A literal enforcement of this chapter would deprive the applicant of use of land that neighboring properties that are similar in lot size that are also deficient in lot width enjoy.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The variance requested is the minimum required to allow the separation of the two platted lots to allow the construction of two new homes. The application includes plans for development which demonstrate that no additional variances will be required to develop the lots according to the Neighborhood Suburban district requirements.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

Based on staff's analysis of the development pattern surrounding the subject property, the granting of the variance will be in harmony with the general purpose and intent of the land use objective within the Comprehensive Plan. The goal of the of the land use plan is to make the maximum use of available public facilities and minimize the need for new facilities by directing new development to infill and redevelopment locations where excess capacity is available. 73 percent of the properties in the Study area are substandard in lot width and 71 percent of the surrounding properties in the study area are comprised of one single family residence per platted lot. The granting of the variance will allow for and additional home to be constructed on the parcel.

The following objective and policy promote redevelopment and infill development in the City:

OBJECTIVE LU2:

The Future Land Use Element shall facilitate a compact urban development pattern that provides opportunities to more efficiently use and develop infrastructure, land and other resources and services by concentrating more intensive growth in activity centers and other appropriate areas.

LU3.6:

Land use planning decisions shall weigh heavily the established character of predominately developed areas where changes of use or intensity of development are contemplated.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of the variance will not be injurious to other neighboring properties or otherwise detrimental to the public welfare. The applicant intends to construct two new single-family homes that will comply with the zoning district requirements including setbacks and height. The construction of the two homes on the two lots is consistent with the subject block and surrounding neighborhood.

8. *The reasons set forth in the application justify the granting of a variance;*

The reasons outlined in the report and the analysis that was completed by staff justify the granting of the variance.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

This criterion is not applicable. Nearby non-conforming uses were not considered as apart of Staff's analysis only lot dimensions of neighboring lands.

PUBLIC COMMENTS: The subject property is within the boundaries of the Shore Acres Civic Association. Staff has received no comment from the Shore Acres Civic Association, CONA or FICO. However Staff has received statements by email opposing the requested variance.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning & Development Services Department Staff recommends **APPROVAL** of the requested variance.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plans submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans and elevations submitted for permitting should substantially resemble the plans and elevations submitted with this application.
2. This variance approval shall be valid through March 1, 2026. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date or the parcels shall be separately conveyed. A request for extension must be filed in writing prior to the expiration date.
3. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.

4. Maximum impervious surface on the site must not exceed 60% for each lot, all plans submitted for permitting on this site must show the extent of all improvements on site and the Impervious Surface Ratio.
5. New home construction(s) shall comply with all requirements of the NS-1 zoning district. The design of the two homes shall be varied, such that a substantially similar home cannot be replicated on the lots. Variation shall include at least three of the following: architectural style, roof form, materials and/or details including but not limited to door, windows, and columns.
6. Approval of this variance does not grant or imply variances from other sections of the City Code or other applicable regulations.
7. Site plans for any future development must show the location of all protected and grand trees. Any application to remove the trees shall comply with Section 16.40.060.5.3: Tree removal and trimming permits for Grand, Protected and Signature trees of the LDRs, at the time of permitting, including submittal of any necessary reports. A separate tree removal permit is required.
8. Any outstanding public liens and assessment owed to the City shall be satisfied.

ATTACHMENTS: Location Map, Application, Applicants Narrative, Survey, Sketch and Legal Description; Proposed site plan, floor plan and elevation drawings for Lots 7 and 8, Public comments

Report Prepared By:

/s/ Candace Scott

02/21/2023

Candace Scott, Planner II
Development Review Services Division
Planning and Development Services Department

Date

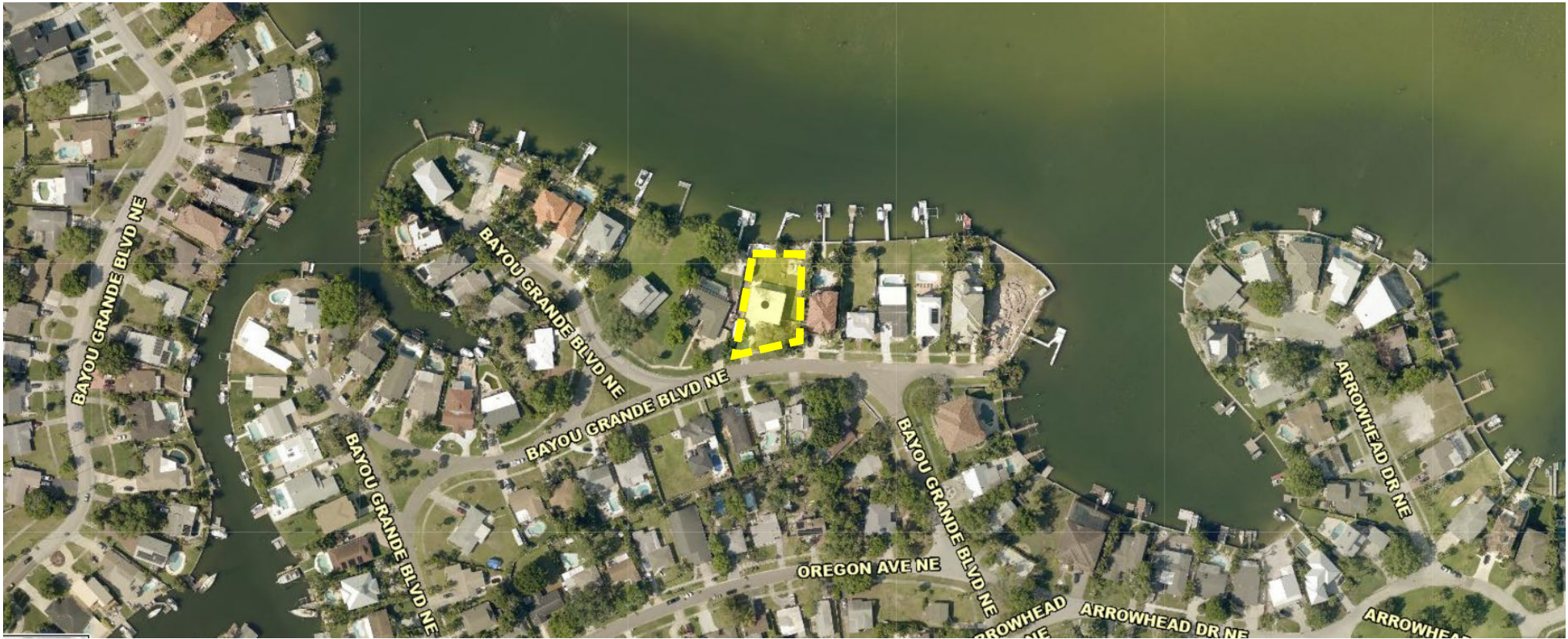
Report Approved By:

/s/ Corey Malyszka

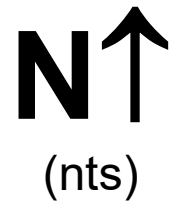
02/21/2023

Corey Malyszka, AICP, Zoning Official (POD)
Development Review Services Division
Planning and Development Services Department

Date



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 22-54000070
Address: 1837 Bayou Grande Blvd. NE.





VARIANCE

Application No. 22-54000070

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): 1837 Bayou Grande LLC	
Street Address: 2805 Dr. MLK Jr. St. N	
City, State, Zip: St. Petersburg, FL 33704	
Telephone No: 727-350-5906	Email Address: Cthompson@credenceus.com
NAME of AGENT or REPRESENTATIVE: Rachel Debrakins	
Street Address: 2805 Dr. MLK Jr. St. N	
City, State, Zip: St. Petersburg, FL 33704	
Telephone No: 386-366-0110	Email Address: rdebrakins@credenceus.com
PROPERTY INFORMATION:	
Street Address or General Location: 1837 Bayou Grande Blvd. NE	
Parcel ID#(s): 33-30-17-81278 -017-0070	
DESCRIPTION OF REQUEST: Split lot into two buildable lots and Build homes on each lot	
PRE-APPLICATION DATE:	PLANNER:

FEE SCHEDULE			
1 & 2 Unit, Residential - 1 st Variance	\$350.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential - 1 st Variance	\$350.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*: Rachel D Date: 8/31/22
*Affidavit to Authorize Agent required, if signed by Agent.
 Typed Name of Signatory: Rachel Debrakins



VARIANCE

Application No. _____

List of Required Submittals

Only complete applications will be accepted:

Included in this packet:

- Pre-Application Meeting Notes
- Application
- Affidavit to Authorize Agent
- General Information
- Narrative
- Neighborhood Worksheet
- Public Participation Report

- Completed variance application and narrative**
- Pre-application Meeting Notes**
- Affidavit to Authorize Agent, if Agent signs application**
- Application fee payment
(See fee schedule on Variance Application)**
- Public Participation Report**
- Proof that Notice of Intent to File was sent to Neighborhood and Business Associations**
- 2 copies of Site Plan or Survey of the subject property:**
 - To scale on 8.5" x 11" or 11" x 17" paper
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions and exact locations of all property lines, structures, parking spaces, trees, and landscaping
- 2 copies of Floor Plans:**
 - To scale on 8.5" paper
 - Locations of all doorways, windows and walls (interior and exterior)
 - Dimensions and area of each room
- 2 copies of Elevation Drawings:**
 - On 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - Depicts all sides of existing & proposed structure(s)
- Samples or a detailed brochure for new materials to be used**
- PDF of all above items (may be emailed to Staff Planner)**

The following items are optional, but strongly suggested:

- Neighborhood Worksheet**
- Photographs of the subject property and structure(s)**

A Pre-Application Meeting is Required Prior to Submittal.

To schedule, please call (727) 892-5498.

Completeness review by City Staff _____

Planning and
Development Services
Department

Development Review
Services

City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL
33731-2842
727.893.7471

UPDATED: 12-17-20



Pre-Application Meeting Notes

Meeting Date: 06/30/2022 Zoning District: NS-1

Address/Location: 1837 Bayou Grande Blvd. NE

Request: Lot split to create two buildable lots and a variance to the minimum lot width

Type of Application: Subdivision Decision w/ a variance Staff Planner for Pre-App: CAS

Attendees: Rachel Debrakins, Matt Smith, Candace Scott

Neighborhood and Business Associations within 300 feet:

Assoc.	Contact Name:	Email:	Phone:
SHORE ACRES CIVIC ASSN	Gary Grudzinskas	garyg@grudzinskas.com	

(See Public Participation Report in applicable Application Package for CONA and FICO contacts.)

Notes: The applicant would like to demolish an existing home and associated structures on lots 7 and 8 to create two buildable lots. The request will also involve a variance to lot width as the proposed lots do not meet the minimum lot width. The applicant mentioned during the meeting that the owner would like to maintain the existing dock as well, staff will need the applicant to provide a survey to see if the dock will meet the min. required setbacks. The applicant will need to provide a survey of the parcel as well as a sketch and description of lot 7 and lot 8 (individually). Also the applicant will need to demonstrate that each of the newly proposed lots can accommodate a new single family residence by providing the following: A site plan (showing proposed structure), floors plans and exterior elevations for each lot. The next submittal deadline is August 8th 10 days prior to submittal the applicant must submit a notice of intent to file for a lot split and variance to the following neighborhood associations: Shore acres civic assoc, CONA and FICO. The contact information for CONA and FICO can be found in the subdivision decision application at the bottom of the public participation form.

PREPARED 9/12/22, 13:20:38
City of St. Petersburg, Florida

PAYMENTS DUE INVOICE
PROGRAM PZ821L

PROJECT NUMBER: 22-54000070 BAYOU GRANDE BLVD NE - 1837

FEE DESCRIPTION	AMOUNT DUE
VARIANCE 1&2 UNIT(1ST VAR)	350.00
TOTAL DUE	350.00

Please present this invoice to the cashier with full payment.

OSCAR WILDE LLC
City of St. Petersburg

City of St. Petersburg, Florida
*** CUSTOMER RECEIPT ***
Oper: DNBrito Type: CC Drawer: 1
Date: 9/12/22 01 Receipt no: 953636

Year	Number	Amount
2022	54000070	
PZ	50 PLANNING & ZONING	\$350.00
Trans number:		26930821
Tender detail		
CK CHECK	1011	\$350.00
Total tendered		\$350.00
Total payment		\$350.00

Trans date: 9/12/22 Time: 14:06:20

*** THANK YOU FOR YOUR PAYMENT***

Balance Due	350.00
9/12/2022	
Discount	
Check Amount	
Payment	350.00
	350.00

1011

350.00



**CITY OF ST. PETERSBURG
PLANNING & ECONOMIC DEVELOPMENT DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

**DEVELOPMENT REVIEW COMMISSION
AFFIDAVIT TO AUTHORIZE AGENT**

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name: 1837 Bayou Grande LLC

This property constitutes the property for which the following request is made

Property Address: 1837 Bayou Grande Blvd. NE

Parcel ID Number: 33-30-17-81278-017-0070

Request: Split lot into two buildable lots

The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): Rachel Debrakhs

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

I (we), the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner): [Handwritten Signature]

Chris Thompson
Printed Name

Sworn to and subscribed on this date

Identification or personally known: Personally Known

Notary Signature: (Print) [Handwritten Signature]
Commission Expiration (Stamp or date):

Date: 8/22/22



Rachel D

From: Rachel D
Sent: Monday, August 29, 2022 9:35 AM
To: 'garyg@grudzinskas.com'
Cc: Chris Tnompsor
Subject: 1837 Bayou Grande Blvd. NE

Good morning, Gary,

The current email is to notify you and shore acres civic association about our intent to split the lot at 1837 Bayou Grande Blvd. NE.

After the split, the subject into two buildable lots and build a new home on each lot. Happy Monday !

if you have any questions, please call me, or email me at:

386-366-0110
rdebrakins@credenceus.com



CREDENCE
CONSTRUCTION

Rachel Debrakins

2805 Dr Martin Luther King Jr St N
Saint Petersburg, Florida 33704

Office 727.350.5906
Cell 386.366.0110

CGC# 1522134

www.credenceconstruction.com

Rachel D

From: Rachel D
Sent: Monday, August 29, 2022 9:45 AM
To: 'kleggs11@outlook.com'
Cc: Chris Thompson
Subject: 1837 Bayou Grande Blvd. NE

Good morning, Kimberly,

The current email is to notify you and shore acres civic association about our intent to split the lot at 1837 Bayou Grande Blvd. NE.

After the split, the subject into two buiidable lots and build a new home on each lot. Happy Monday !

If you have any questions, please call me, or email me at:

386-366-0110

rdebrakins@credenceus.com



CREDENCE
CONSTRUCTION

Rachel Debrakins

2805 Dr Martin Luther King Jr St N
Saint Petersburg, Florida 33704

Office 727.350.5906

Cell 386.366.0110

CGC# 1522134

www.credenceconstruction.com

Rachel D

From: Rachel D
Sent: Monday, August 29, 2022 9:40 AM
To: 'variance@stpetecona.org'
Cc: Chris Thompson
Subject: 1837 Bayou Grande Blvd. NE

Good morning, and Happy Monday,

The current email is to notify you and shore acres civic association about our intent to split the lot at 1837 Bayou Grande Blvd. NE.

After the split, the subject into two buildable lots and build a new home on each lot.

if you have any questions, please call me, or email me at:

386-366-0110

rdebrakins@credenceus.com



CREDENCE
CONSTRUCTION

Rachel Debrakins

2805 Dr Martin Luther King Jr St N
Saint Petersburg, Florida 33704

Office 727.350.5906

Cell 386.366.0110

CGC# 1522134

www.credenceconstruction.com

To: City of St. Pete,

My family would like to submit a letter of strong support for the building of two homes on the double lot currently known as 1837 Bayou Grande. This will be more esthetically pleasing, improve property taxes for the neighborhood and tremendously help our real estate values.

Please contact us with any questions as we strongly support the building of two new homes at this location.

Chris and Dana Travis

1847 Bayou Grande Blvd. NE

St. Pete FL. 33703

Chris Travis

(813) 810-8728

Christopher_travis@outlook.com

Chris Travis

Aug 30, 2022

Dana Travis

8134776765

Dana Travis

Aug 30, 2022

To: City of St. Pete,

This is a letter of support for the building of two homes on the double lot currently known as 1837 Bayou Grande. The current homes seems out of place with the updated new construction along this section of Bayou Grande. The current new construction of 1843 Bayou Grande has improved our street and we feel this project would achieve the same. The increase of property taxes will also help Shore Acres Elementary where our children attend school.

Please contact us with any questions as we openly support the project.

Scott and Janie Fielder

1847 Bayou Grande Blvd NE

St. Pete FL, 33703

Scott 7272780299

sfielder@trifinlabs.com



Aug 30, 2022

Janie 7272782703

janiefelder@gmail.com



Aug 30, 2022



st.petersburg
www.stpete.org

VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 1837 Bayou Grande Blvd. NE	Case No.:
Detailed Description of Project and Request: Demolish existing home and Build two single family residences.	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
Despite the houses matching the topography of the new houses built on the same street. The facades of each home are unique and custom to each home owner.	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
Yes - 6201 Bayou Grande	
3. How is the requested variance not the result of actions of the applicant?	
N/A	



st.petersburg
www.stpete.org

VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Granting the requested variance will enhance the character of the neighborhood to match current lot sizes and new buildings.</p>
<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>N/A</p>
<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Allowing this project will enhance the character of the neighborhood by removing a deteriorated building and continuing the current rehabilitation and renovation effecting of the new houses very similar to this project</p>

0



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F., "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a decision requiring a streamline review or public hearing. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, (except when the application is for a local historic district) but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

NOTE: This Report may be updated and resubmitted up to 10 days prior to the scheduled Public Hearing.

APPLICANT REPORT

Street Address:

1. Details of techniques the applicant used to involve the public

(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal

N/A

(b) Content, dates mailed, and number of mailings; including letters, meeting notices, newsletters, and other publications

N/A

(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located

NO

2. Summary of concerns, issues, and problems expressed during the process

N/A

NOTICE OF INTENT TO FILE

A minimum of ten (10) days prior to filing an application for a decision requiring Streamline or Public Hearing approval, the applicant shall send a copy of the application by email to the Council of Neighborhood Associations (CONA) (c/o Tom Lally at variance@stpetecon.org), by standard mail to Federation of Inner-City Community Organizations (FICO) (c/o Kimberly Frazier-Leggett at 3301 24th Ave. S., St. Pete 33712) and by email to all other Neighborhood Associations and/or Business Associations within 300 feet of the subject property as identified in the Pre-Application Meeting Notes. The applicant shall file evidence of such notice with the application.

Date Notice of Intent to File sent to Associations within 300 feet, CONA and FICO: _____

8/29/22

Attach the evidence of the required notices to this sheet such as Sent emails.

we 6/2

BOUNDARY SURVEY

PAGE 1 OF 1

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	124.86'	515.25'	13°53'32"
C2	100.00'	781.95'	7°19'38"

LEGAL DESCRIPTION:
 LOT 7 AND 8, BLOCK 17, BLOCKS 17, EDGEWATER
 SECTION OF SHORE ACRES, ACCORDING TO THE PLAT
 THEREOF AS RECORDED IN PLAT BOOK 7, PAGE(S) 22 OF
 THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

COMMUNITY NUMBER: 125148 PANEL: 0228 SUPTX: H
 F.I.R.M. DATE: FLOOD ZONE: VE FIELD WORK: 5/10/2022

CERTIFIED TO:
 CHRIS THOMPSON, CLAY GLOVER, BOSS LAW, FIRST
 AMERICAN TITLE INSURANCE COMPANY

PROPERTY ADDRESS:
 1637 BAYOU GRANDE BOULEVARD NORTHEAST
 ST. PETERSBURG, FL 33703

SURVEY NUMBER: 541378
 CLIENT FILE NUMBER: 22-287

ABBREVIATION DESCRIPTION:

- AC = ANGLE
- CD = CENTERLINE
- CE = CENTRAL/DELTA ANGLE
- ID = IDENTIFICATION
- LEN = LENGTH
- LB = LICENSED BUSINESS
- NA.V.D. = NORTH AMERICAN VERTICAL DATUM
- NG.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- OHL = OVERHEAD UTILITIES
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVE
- P.K. = PAVEMENT KEY
- P.M. = POINT OF TANGENCY
- R = RADIUS
- R.W. = RIGHT OF WAY

SURVEY NOTES
 CONCRETE DRIVE CROSSING INTO RW
 ON SOUTHERLY SIDE OF LOT.
 FENCES, SHEDS AND CONCRETE CROSSING
 INTO S.D.E. & U.E. AT SIDES OF PROPERTY.
 CONCRETE SLABWALL CROSSES OVER THE
 PROPERTY LINE ON WESTERLY SIDE OF LOT.
 CONCRETE WALL AND WOOD DOCK CROSSES
 OVER THE PROPERTY LINE AT REAR OF LOT.
 B.R.L. - BUILDING RESTRICTION LINE

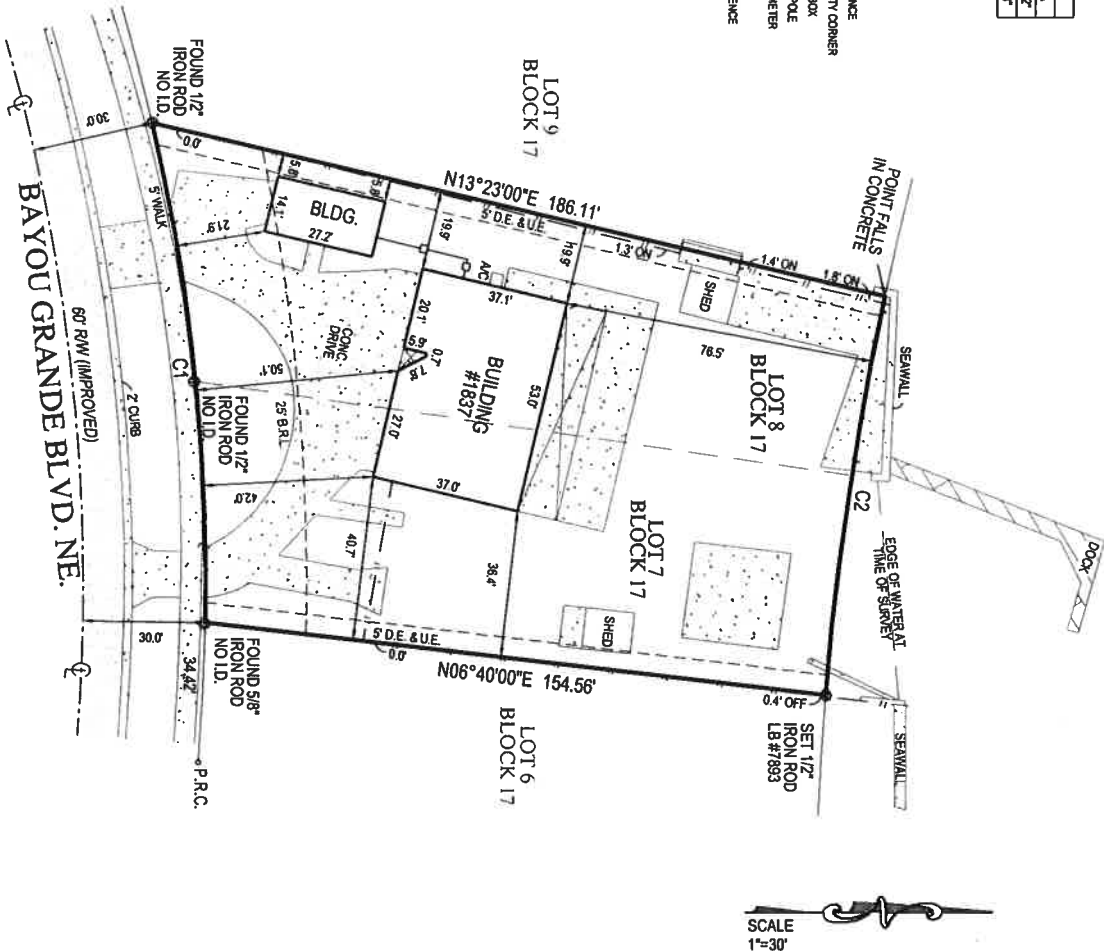
GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCUMBRANCES ARE LOCATED.

- 6) DIMENSIONS SHOWN HEREON ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED
- 7) FENCE OWNERSHIP NOT DETERMINED
- 8) REAR DIMENSIONS SHOWN ARE BASED ON G.V.D. 1889 PLAT 141 UNLESS OTHERWISE NOTED
- 9) RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES IN ALL CASES DIMENSIONS SHALL CONTROL
- 10) THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS

REVISIONS:

- SYMBOL DESCRIPTIONS**
- = CATCH BASIN
 - = CENTERLINE ROAD
 - = COVERED AREA
 - = EXISTING ELEVATION
 - = HYDRANT
 - = MANHOLE
 - = METAL FENCE
 - = MISC. FENCE
 - = PROPERTY CORNER
 - = UTILITY BOX
 - = UTILITY POLE
 - = WATER METER
 - = WELL
 - = WOOD FENCE



SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE
 AND CORRECT REPRESENTATION OF A SURVEY PREPARED
 UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED
 EMBOSSED SEAL AND SIGNATURE.

KENNETH
 (SIGNED) OSBORNE

Digitally signed by KENNETH
 OSBORNE
 Date: 2022.05.13 11:03:20 -0400'

KENNETH J OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415



LB #7893
 SERVING FLORIDA
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>

LEGAL DESCRIPTION:

LOT 7, BLOCK 17, BLOCKS 17, EDGEWATER SECTION OF SHORE ACRES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE(S) 22 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

COMMUNITY NUMBER: 125148

PANEL: 0228

SUFFIX: H

F.L.B.I. DATE:

FLOOD ZONE: VE FIELD

WORK: 5/10/2022

CERTIFIED TO:

CHRIS THOMPSON, CLAY GLOVER, BOSS LAW, FIRST AMERICAN TITLE INSURANCE COMPANY

PROPERTY ADDRESS:

1837 BAYOU GRANDE BOULEVARD NORTHEAST ST. PETERSBURG, FL 33709

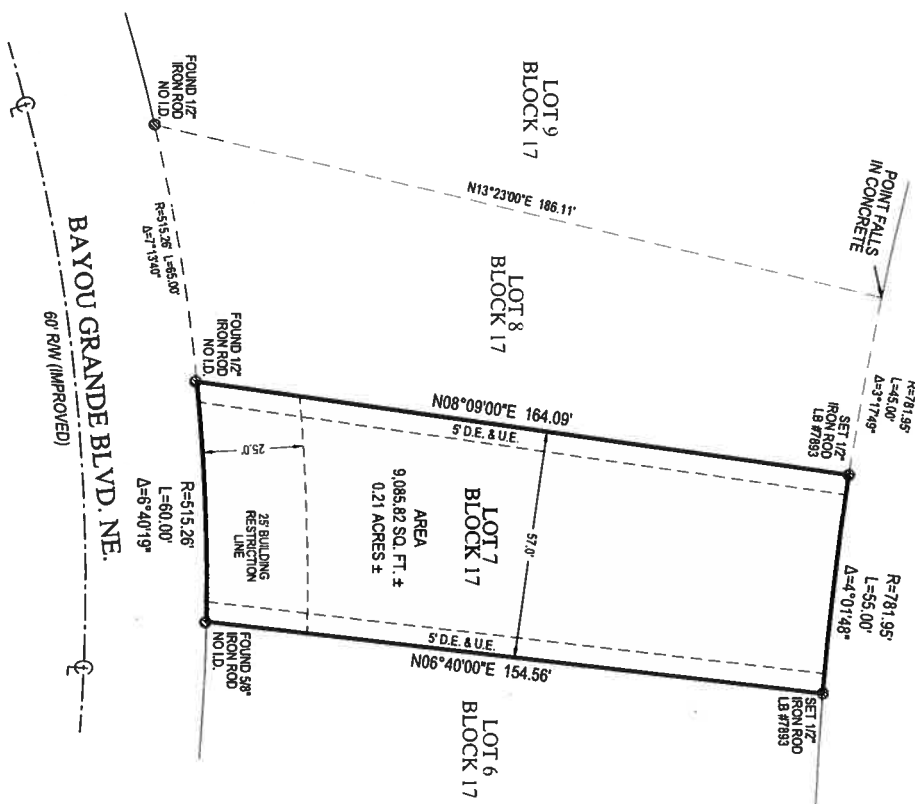
SURVEY NUMBER: 541378

CLIENT FILE NUMBER: 22-287

SKETCH AND DESCRIPTION

PAGE 1 OF 1

BAYOU GRANDE



- ABBREVIATION DESCRIPTION:**
- AC AIR CONDITIONER
 - C CENTERLINE
 - D DELTA ANGLE
 - I.D. IDENTIFICATION
 - L.B. LICENSED BUSINESS
 - N.A.V.D. NORTH AMERICAN VERTICAL DATUM
 - N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
 - O.H. OVERHEAD UTILITIES
 - P.C. POINT OF CURVATURE
 - P.O.C. POINT OF COMPOUND CURVE
 - P.K. PARKER KYLON MAIL
 - P.R.C. POINT OF REVERSE CURVE
 - P.S.M. PROFESSIONAL SURVEYOR MAPPER
 - P.T. POINT OF TANGENCY
 - R.A. RADIAL/PODIUS
 - R.W. RIGHT OF WAY

- SYMBOL DESCRIPTIONS:**
- ☐ - CATCH BASIN
 - MISC. FENCE
 - CENTERLINE ROAD
 - - PROPERTY CORNER
 - ⊠ - CONCRETE AREA
 - ⊠ - UTILITY BOX
 - ⊠ - UTILITY POLE
 - ⊠ - EXISTING ELEVATION
 - ⊠ - HYDRAUNT
 - ⊠ - WATER METER
 - ⊠ - MANHOLE
 - ⊠ - WELL
 - METAL FENCE
 - WOOD FENCE

- GENERAL NOTES:**
- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
 - 2) NOT SHOWN ON THIS DRAWING WERE NOT RECONSTRUCTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES
 - 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
 - 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
 - 5) ONLY VISIBLE ENCUMBRANCEMENTS ARE LOCATED.

- 6) DIMENSIONS SHOWN HEREON ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED
- 7) FENCE OWNERSHIP NOT DETERMINED
- 8) IN SOME INSTANCES GRAPHIC REPRESENTATION HAVE BEEN ENLARGED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

REVISIONS:
AREA ADDED TO THE SURVEY. DATE: 09-07-2022

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

KENNETH OSBORNE
Digitally signed by KENNETH OSBORNE
Date: 2022.09.08 09:37:28
-04'00"
PROFESSIONAL SURVEYOR AND MAPPER #6415



LB #7893
SERVING FLORIDA
6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE (561) 640-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>

LEGAL DESCRIPTION:

LOT 8, BLOCK 17, BLOCKS 17, EDGEWATER SECTION OF SHORE ACRES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE(S) 22, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

COMMUNITY NUMBER: 125148
 PAPER: 0228
 SURFEX: H

FILED DATE:
 FLOOD ZONE: VE FIELD
 WORK: 5/10/2022

CERTIFIED TO:
 CHRIS THOMPSON: CLAY GLOVER; BOSS LAW; FIRST AMERICAN TITLE INSURANCE COMPANY

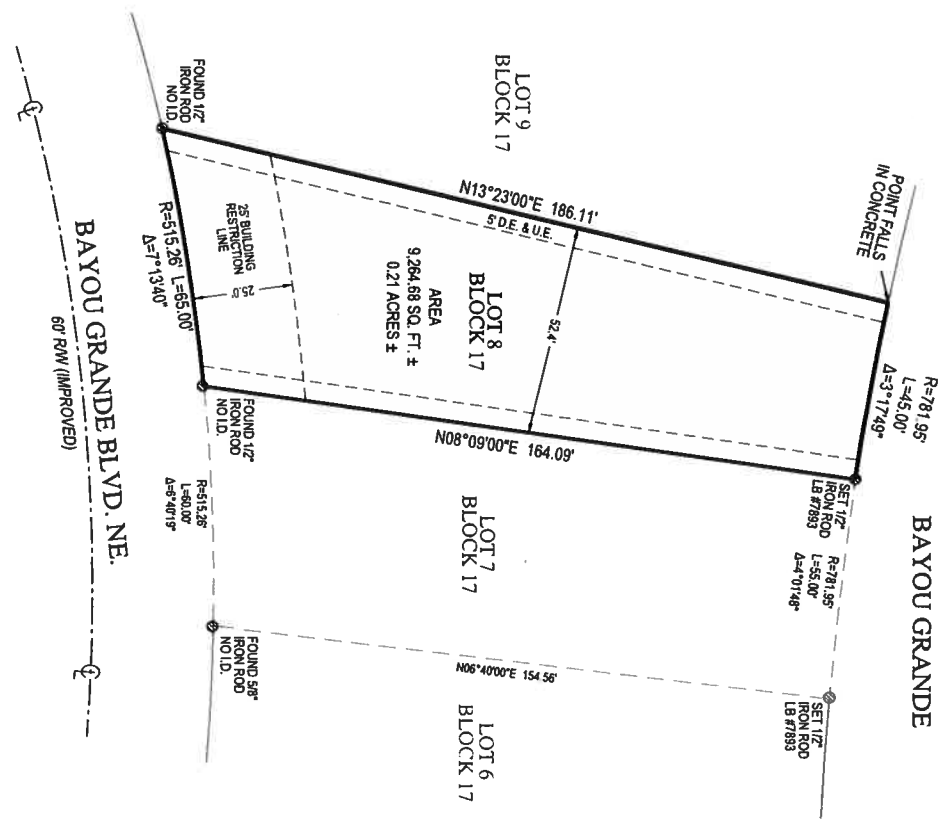
PROPERTY ADDRESS:
 1837 BAYOU GRANDE BOULEVARD NORTHEAST
 ST. PETERSBURG, FL 33703

SURVEY NUMBER: 541376
 CLIENT FILE NUMBER: 22-287

SKETCH AND DESCRIPTION

PAGE 1 OF 1

- ABBREVIATION DESCRIPTION:**
- MC CENTER CONDITION
 - C CENTERLINE
 - L.D. IDENTIFICATION
 - L LENGTH
 - LB LICENSED BUSINESS
 - N.A.V.D. NORTH AMERICAN VERTICAL DATUM
 - N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
 - O.H. OVERHEAD UTILITIES
 - P.O. POINT OF CURVATURE
 - P.C. POINT OF CURVATURE
 - P.T. POINT OF TANGENCY
 - P.S.M. PROFESSIONAL SURVEYOR/MAPPER
 - R RADIAL / RADIUS
 - R.W. RIGHT OF WAY
- SYMBOL DESCRIPTIONS:**
- = MISC. FENCE
 - ⊕ = CENTERLINE ROAD
 - ⊙ = PROPERTY CORNER
 - ⊞ = COVERED AREA
 - ⊞ = UTILITY BOX
 - + X.X' = EXISTING ELEVATION
 - ⊞ = UTILITY POLE
 - ⊞ = HORIZONTAL
 - ⊞ = WATER METER
 - ⊞ = MOUND
 - ⊞ = HELL
 - ⊞ = METAL FENCE
 - ⊞ = WOOD FENCE



- GENERAL NOTES:**
- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
 - 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT
 - 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
 - 4) WALL METES TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
 - 5) ONLY VISIBLE ENCUMBRANCES WERE LOCATED.

- 6) DIMENSIONS SHOWN HEREON ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED
- 7) DIMENSIONS SHOWN HEREON ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED
- 8) ELEVATIONS, IF SHOWN, ARE BASED ON N.G.V.D., 1989 DATUM, UNLESS OTHERWISE NOTED.
- 9) IN SOME INSTANCES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL. THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

REVISIONS:
 AREA ADDED TO THE SURVEY DATE: 09-07-2022

SCALE
 1" = 30'

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

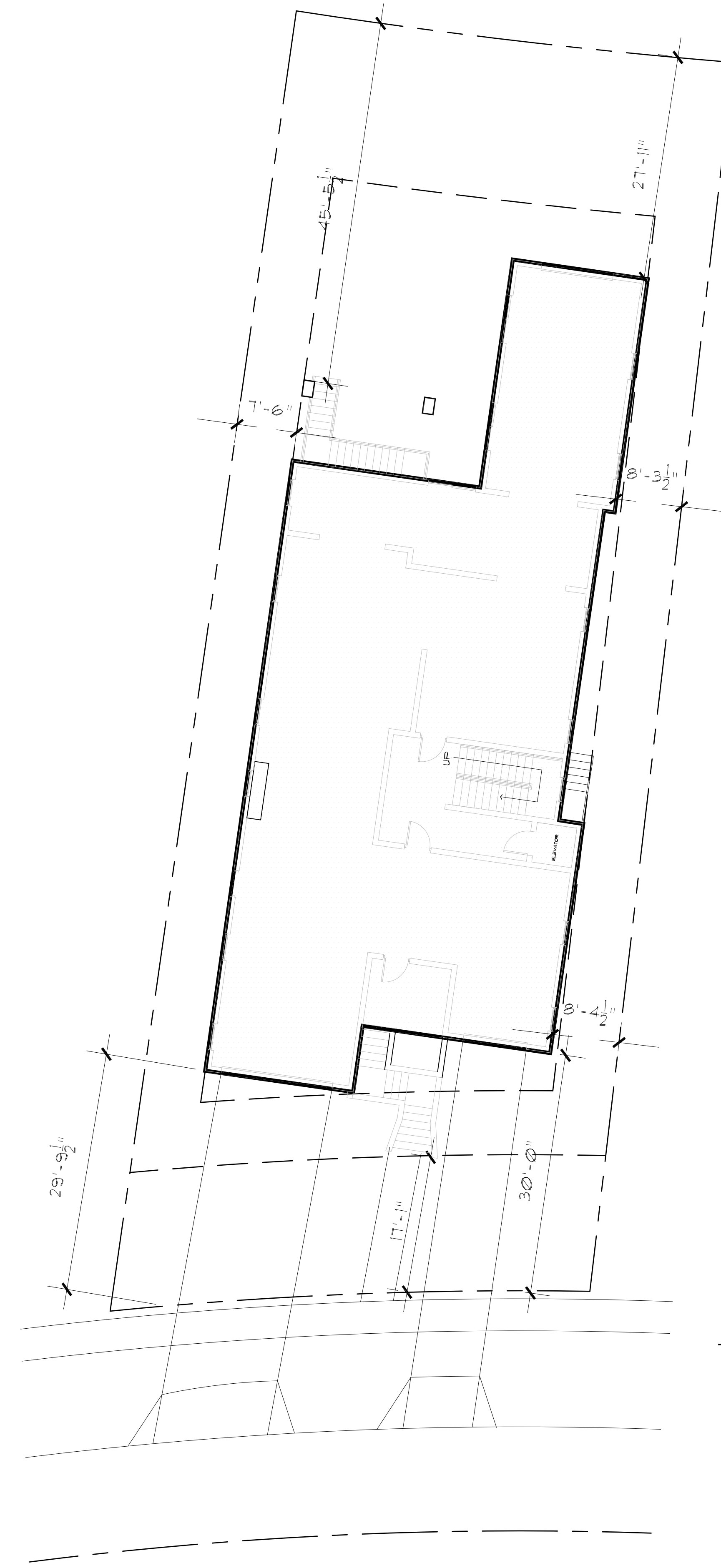
KENNETH OSBORNE
 Digitally signed by KENNETH OSBORNE
 Date: 2022.09.08 09:07:07
 04'00"

KENNETH J OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

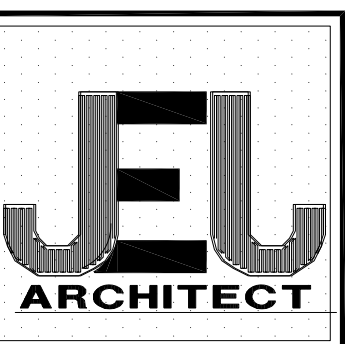


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 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
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PROPOSED DRAWINGS FOR LOT 7

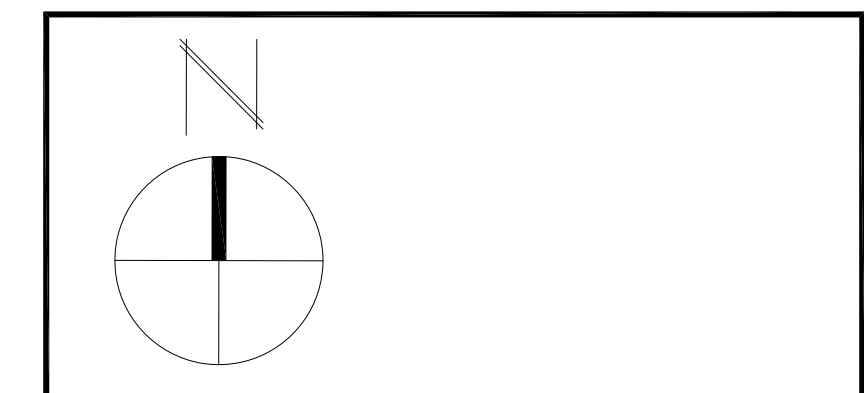


SITE PLAN
SCALE: 1" = 10'



JOB NUMBER	_____
ISSUE DATE	_____
DRAWN BY	_____
REVISIONS	_____
△	_____
△	_____
△	_____

JAMES E. JACKSON, JR.
ARCHITECT
LICENSE #: AR0015839

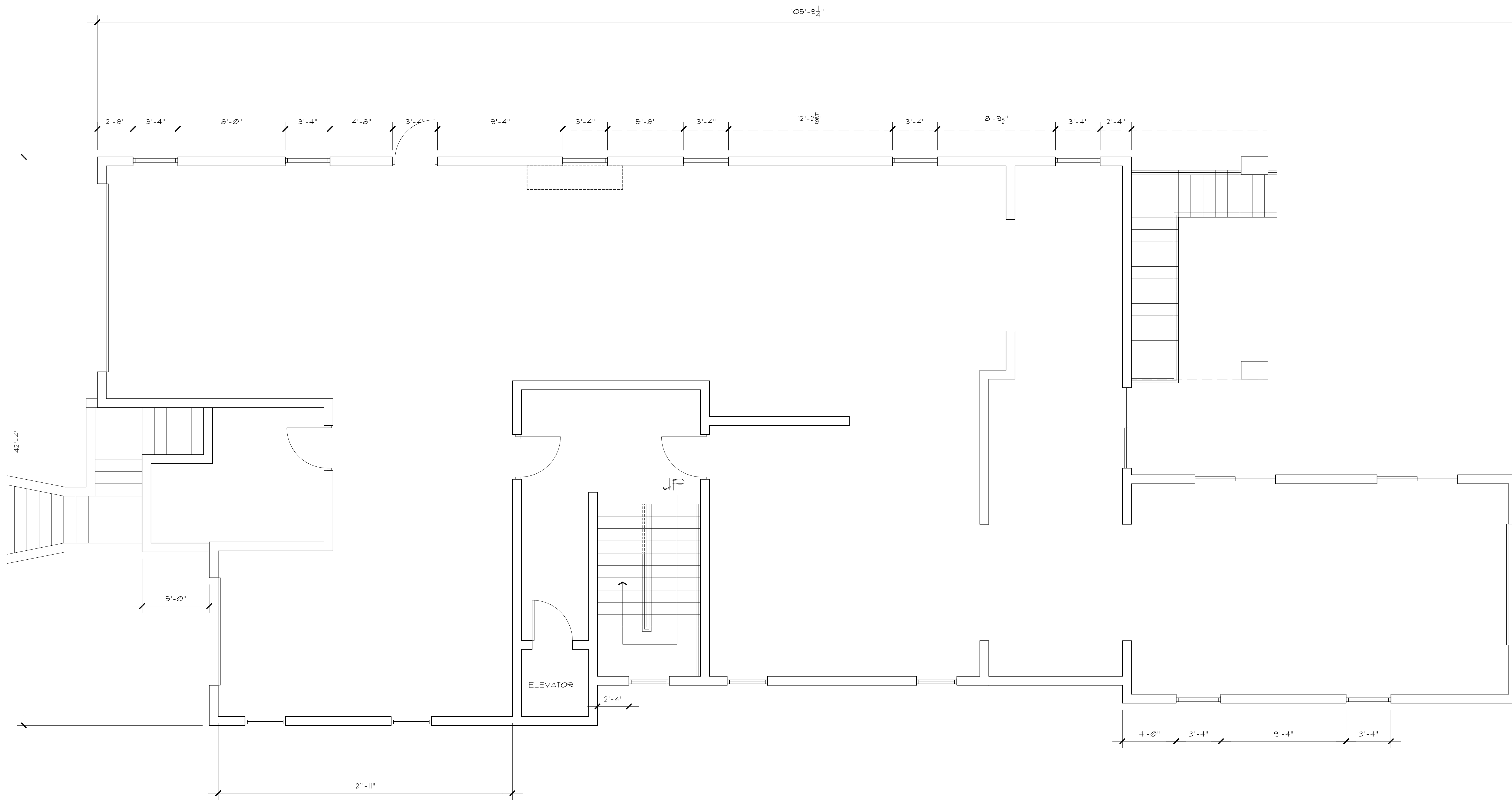


JAMES E. JACKSON, JR., A.I.A.
SAINT PETERSBURG FLORIDA
LICENSE #: AR0015839
ph: 813.679.4654 e: jak@am6.com
member: American Institute of Architects

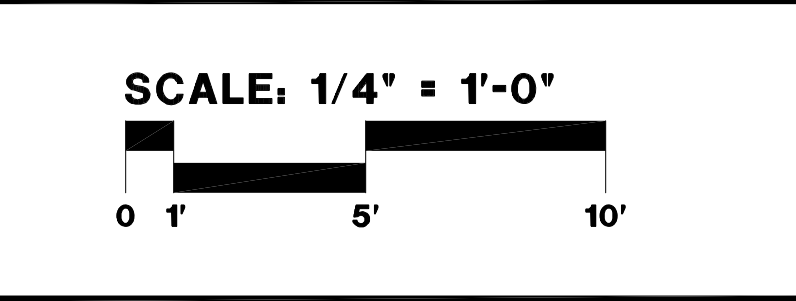
INTERIOR RENOVATION TO ADU FOR
RESIDENCE
5540 4TH AVENUE NORTH
ST PETERSBURG, FLORIDA

**ARCHITECTURAL
SITE PLAN**

SHEET NUMBER
A-0
OF _____



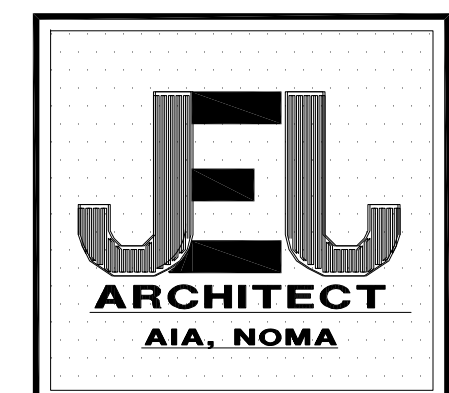
3,443 s.f.
GARAGE FLOOR



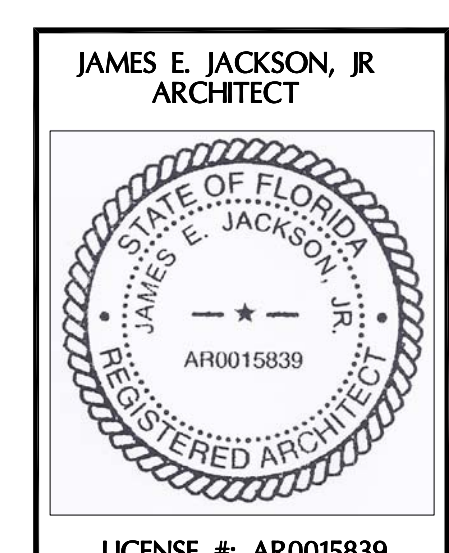
JAMES E. JACKSON, JR., A.I.A.
4225 ALBERCA WAY SOUTH
SAINT PETERSBURG FLORIDA 33712
LICENSE #: AR0015839
f: 727.864.1575 pht: 813.679.4654 e: jakfam6@msn.com
member American Institute of Architects National Organization of Minority Architects



**GARAGE
PLAN/ NOTES**

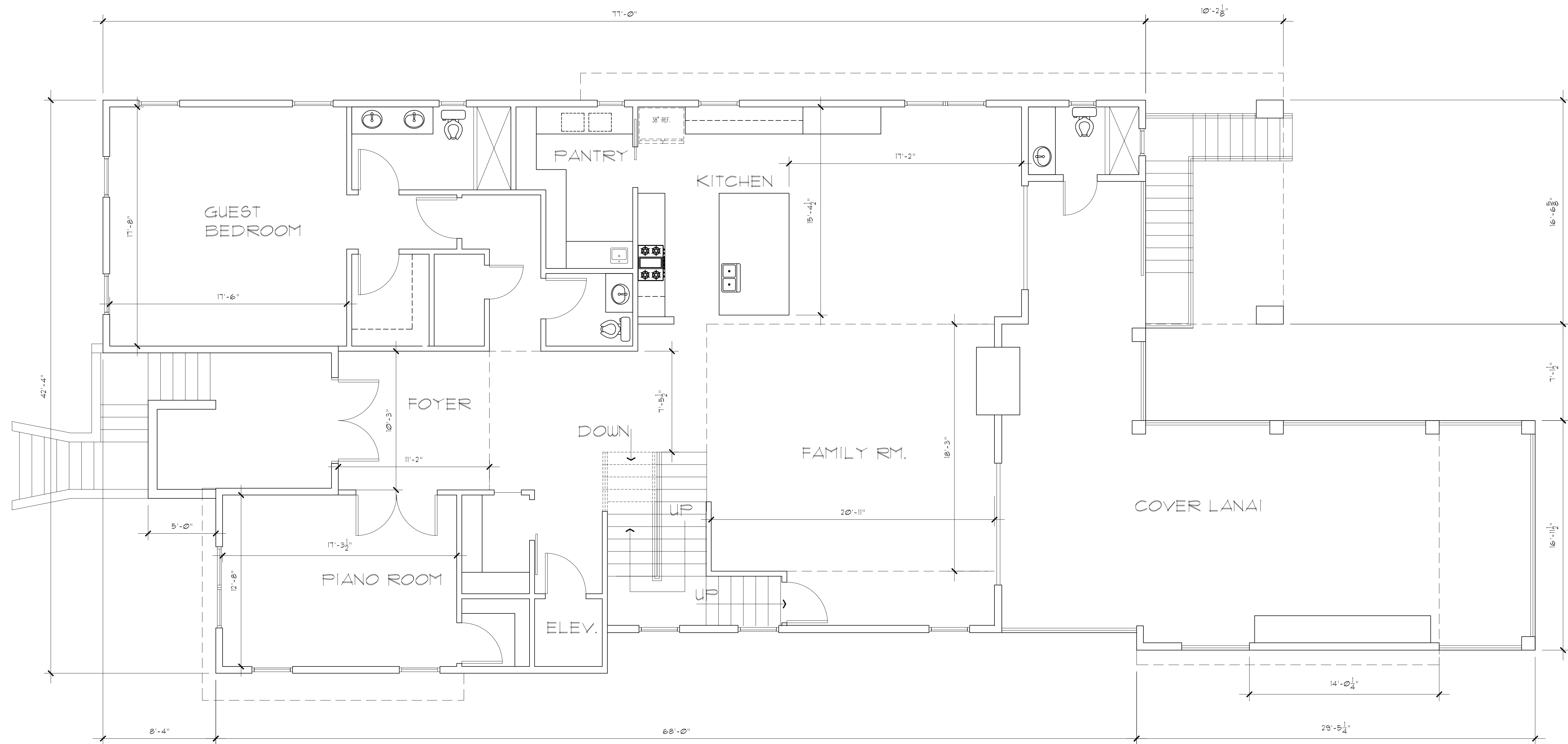


JOB NUMBER	_____
ISSUE DATE	_____
DRAWN BY	J.E.J.
REVISIONS	_____
	△
	△
	△

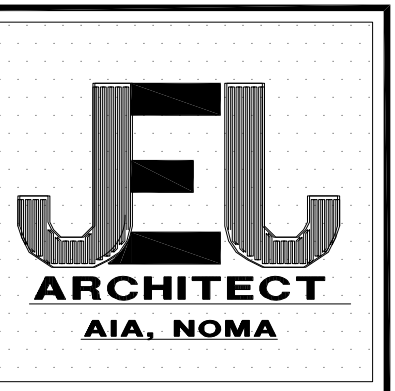
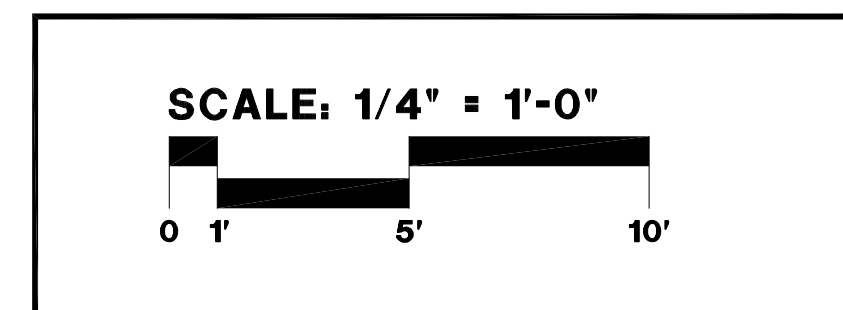


LICENSE #: AR0015839
SHEET NUMBER
A-1
_____ OF _____

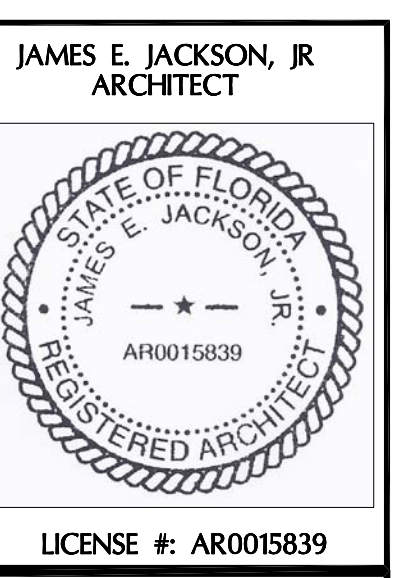
PLOT DATE :



2,524 s.f.
1st flr



JOB NUMBER	
ISSUE DATE	
DRAWN BY	J.E.J.
REVISIONS	
▲	
▲	
▲	



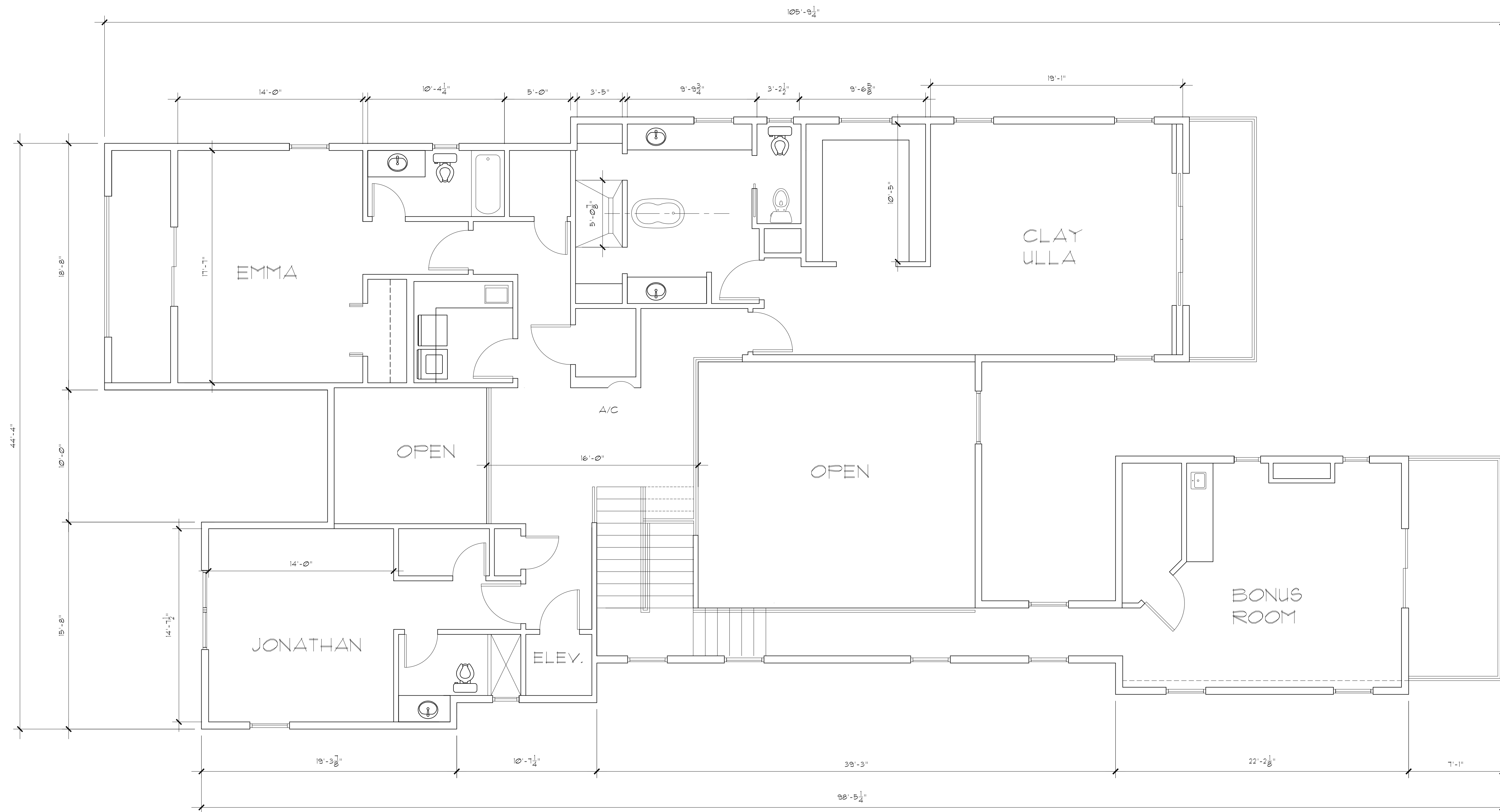
LICENSE #: AR0015839
SHEET NUMBER
A-2
OF

JAMES E. JACKSON, JR., A.I.A.
4225 ALBERCA WAY SOUTH
SAINT PETERSBURG FLORIDA 33712
LICENSE #: AR0015839
f: 727.864.1575 ph: 813.679.4654 e: jakfam6@msn.com
member: American Institute of Architects National Organization of Minority Architects

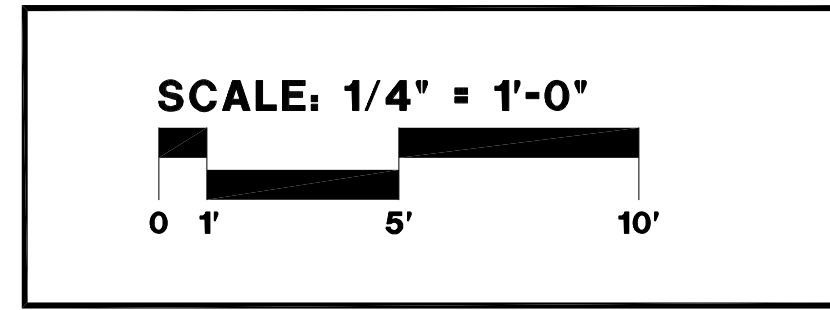


**FIRST FLOOR
PLAN/ NOTES**

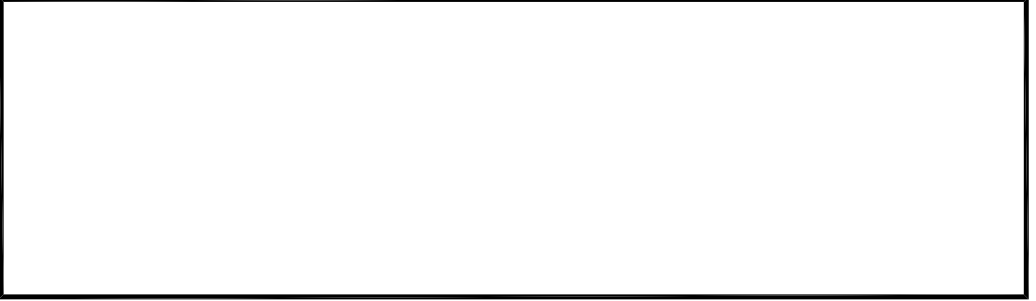
PL01 DATE :



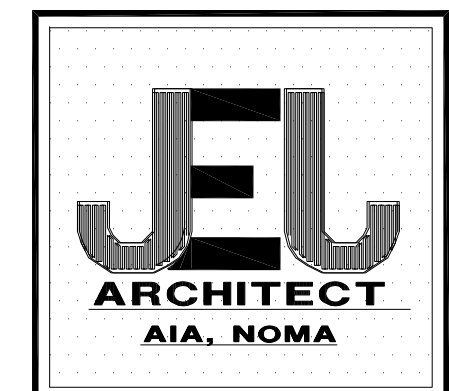
2,615 s.f.
2nd floor



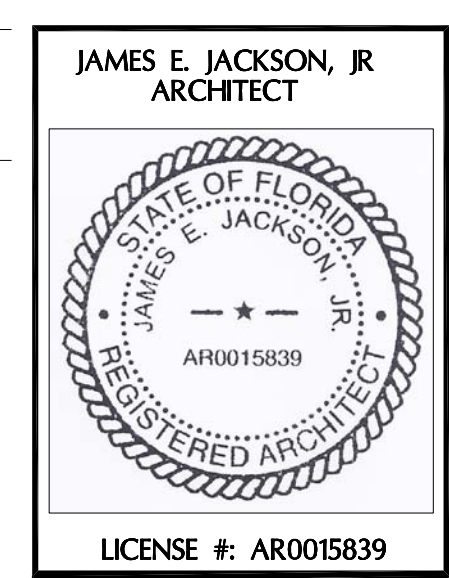
JAMES E. JACKSON, JR., A.I.A.
4225 ALBERCA WAY SOUTH
SAINT PETERSBURG FLORIDA 33712
LICENSE #: AR0015839
f: 727.864.1575 ph: 813.679.4654 e: jakfam6@msn.com
member: American Institute of Architects National Organization of Minority Architects



**SECOND FLOOR
PLAN/ NOTES**



JOB NUMBER	_____
ISSUE DATE	_____
DRAWN BY	J.E.J.
REVISIONS	<ul style="list-style-type: none"> ▲ _____ ▲ _____ ▲ _____



LICENSE #: AR0015839
SHEET NUMBER
A-2.1
OF _____



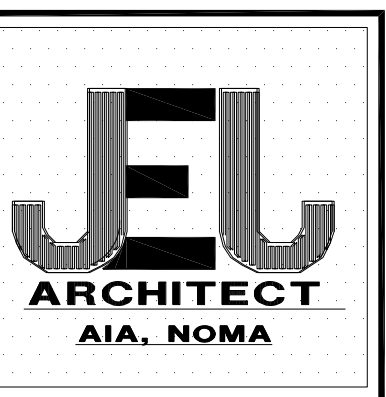
FRONT ELEVATION

SCALE: 1/4"=1'-0"



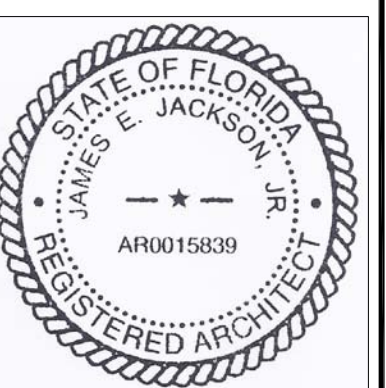
REAR ELEVATION

SCALE: 1/4"=1'-0"



JOB NUMBER	_____
ISSUE DATE	_____
DRAWN BY	J.E.J.
REVISIONS	_____
	△
	△
	△

JAMES E. JACKSON, JR.
ARCHITECT



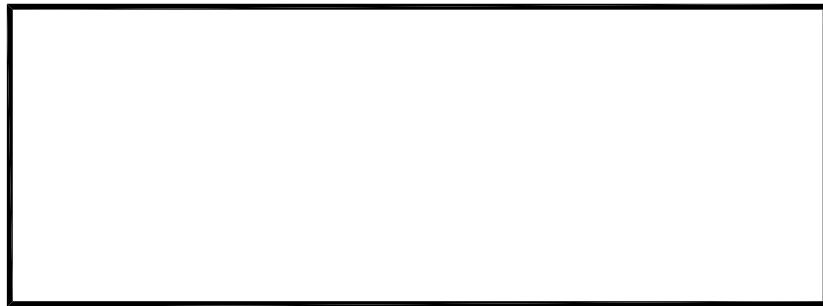
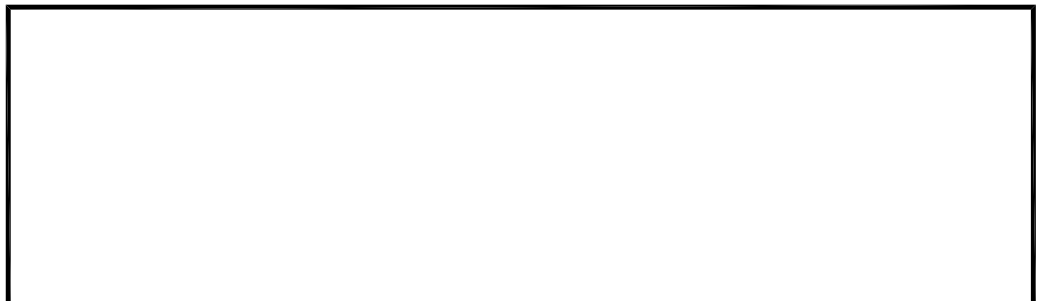
LICENSE #: AR0015839

SHEET NUMBER

A-3

OF

JAMES E. JACKSON, JR., A.I.A.
4225 ALBERCA WAY SOUTH
SAINT PETERSBURG FLORIDA 33712
LICENSE #: AR0015839
f: 727.864.1575 ph: 813.679.4654 e: jakfam6@msn.com
member: American Institute of Architects National Organization of Minority Architects



EXTERIOR ELEVATIONS



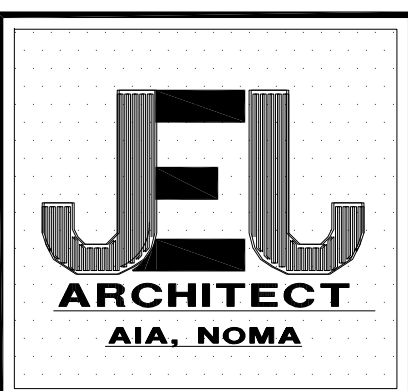
LEFT ELEVATION

SCALE: 1/4"=1'-0"

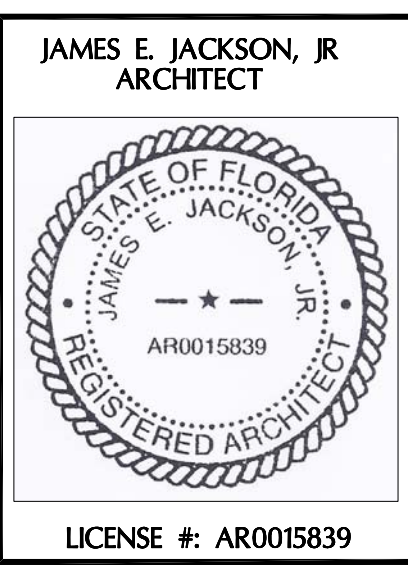


RIGHT ELEVATION

SCALE: 1/4"=1'-0"



JOB NUMBER	_____
ISSUE DATE	_____
DRAWN BY	J.E.J.
REVISIONS	_____
	△ _____
	△ _____
	△ _____



LICENSE #: AR0015839

SHEET NUMBER

A-3.1

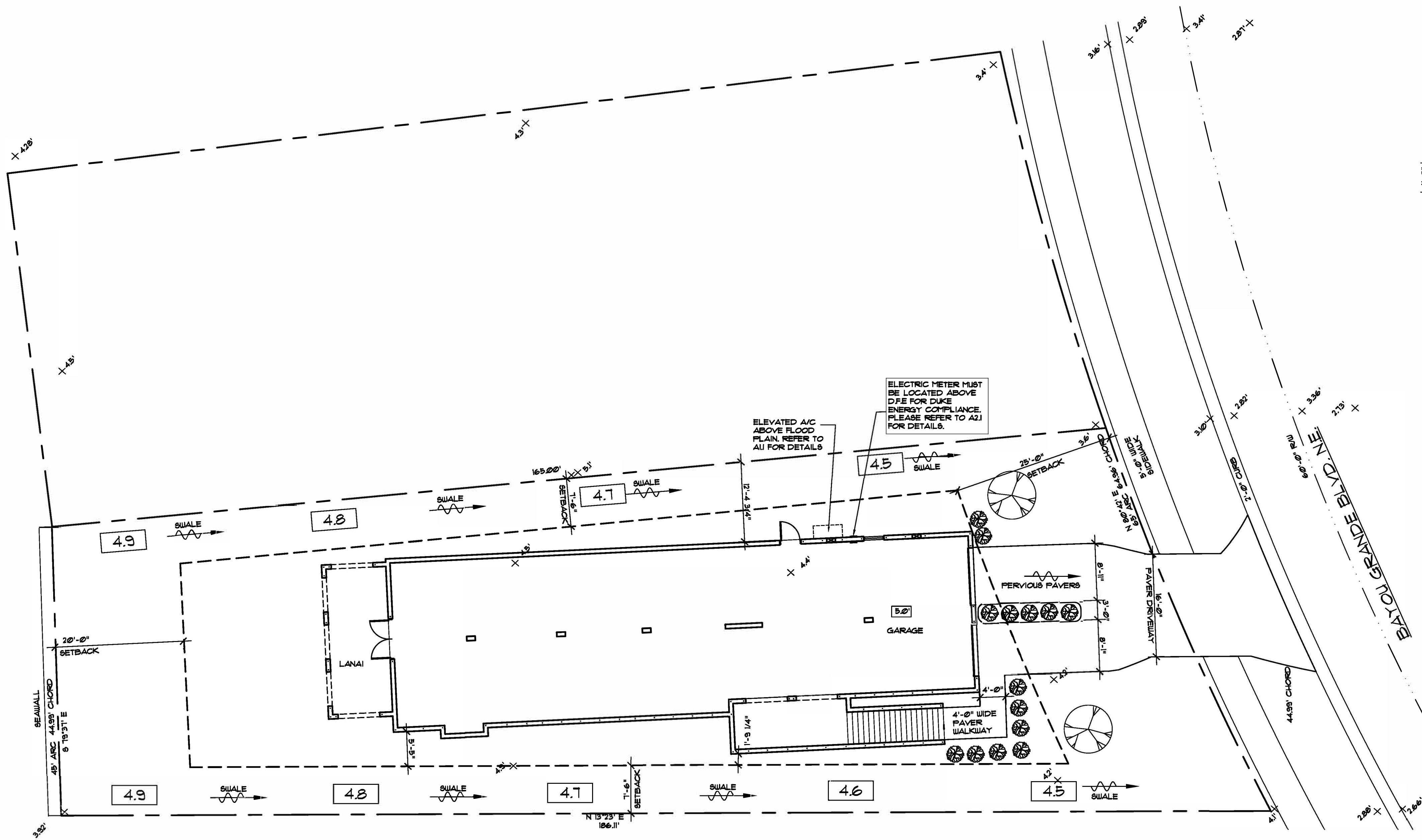
OF _____

JAMES E. JACKSON, JR., A.I.A.
 4225 ALBERCA WAY SOUTH
 SAINT PETERSBURG FLORIDA 33712
 LICENSE #: AR0015839
 f: 727.864.1575 ph: 813.679.4654 e: jakfam6@msn.com
member: American Institute of Architects National Organization of Minority Architects

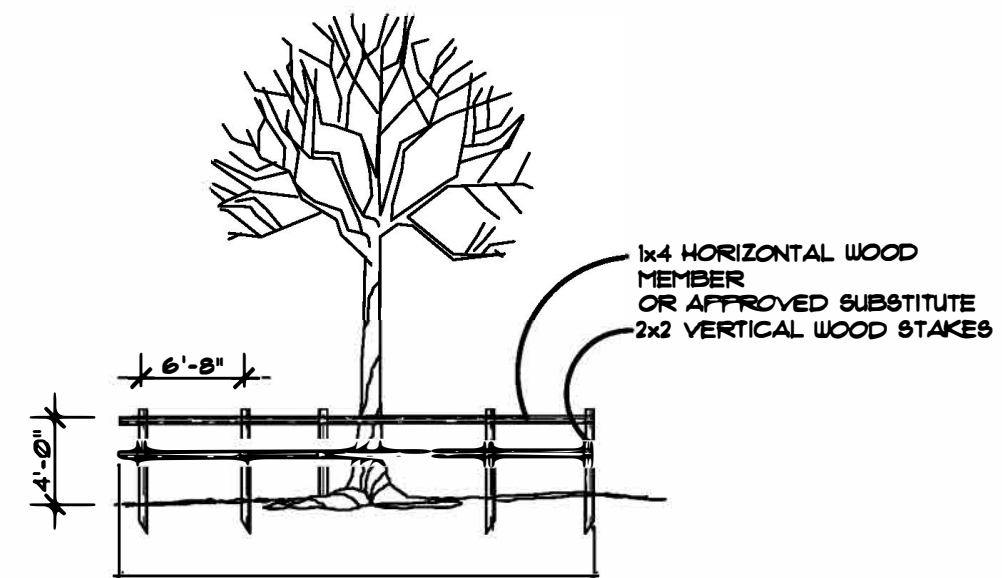
EXTERIOR ELEVATIONS

PLOT DATE :

PROPOSED DRAWINGS FOR LOT 8



VEGETATIVE COVER OR SOG SHALL BE INSTALLED WITHIN ALL PERMEABLE AREAS OF THE PROPERTY AND ABUTTING RIGHT OF WAYS. THE INSTALLATION OF ST. AUGUSTINE TURF(SOG) AT THE PROPERTY IS LIMITED TO 50% OF THE PERMEABLE AREA OF THE LOT. ALL SOG AND PLANTING AREAS REQUIRE A MEANS OF IRRIGATION.



BARRICADE DETAIL

SCALE: NTS

LANDSCAPE LEGEND

- SCHEFFLERA ARBORICOLA-MIN 18' HIGH SHRUB
- FLORIDA ELM-MIN 10' HT.-2\"/>

ELEVATION KEY

- EXISTING ELEVATIONS:
- PROPOSED ELEVATIONS:
- SWALE:

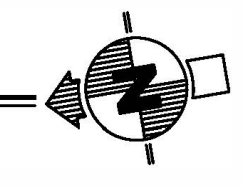
SITE WILL COMPLY WITH IRRIGATION REQUIREMENTS OF SECTION 16.40.06.02.11

ST AUGUSTINE TURF IS LIMITED TO A MAX. OF 50% OF THE PERMEABLE AREA OF THE LOT

DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON THE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.

SITE PLAN

SCALE: 1"=10'-0" (IN FEET)



ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

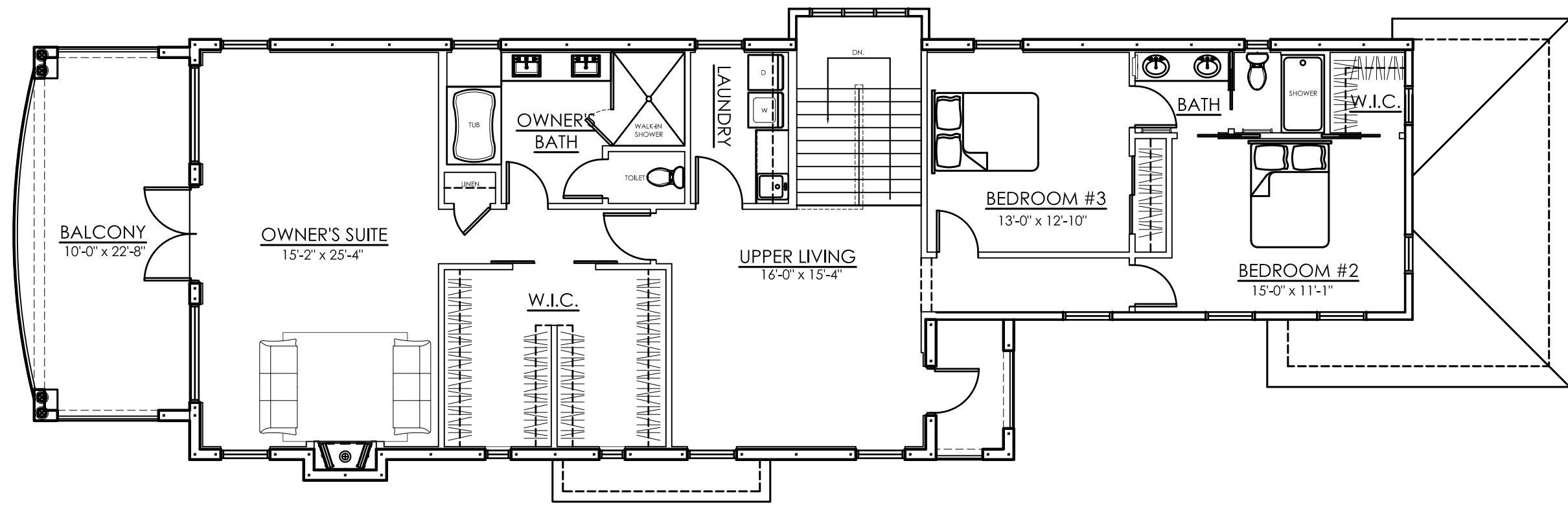
Revisions

Project No. 2022-116R
Date: July 8, 2022

Not For Construction

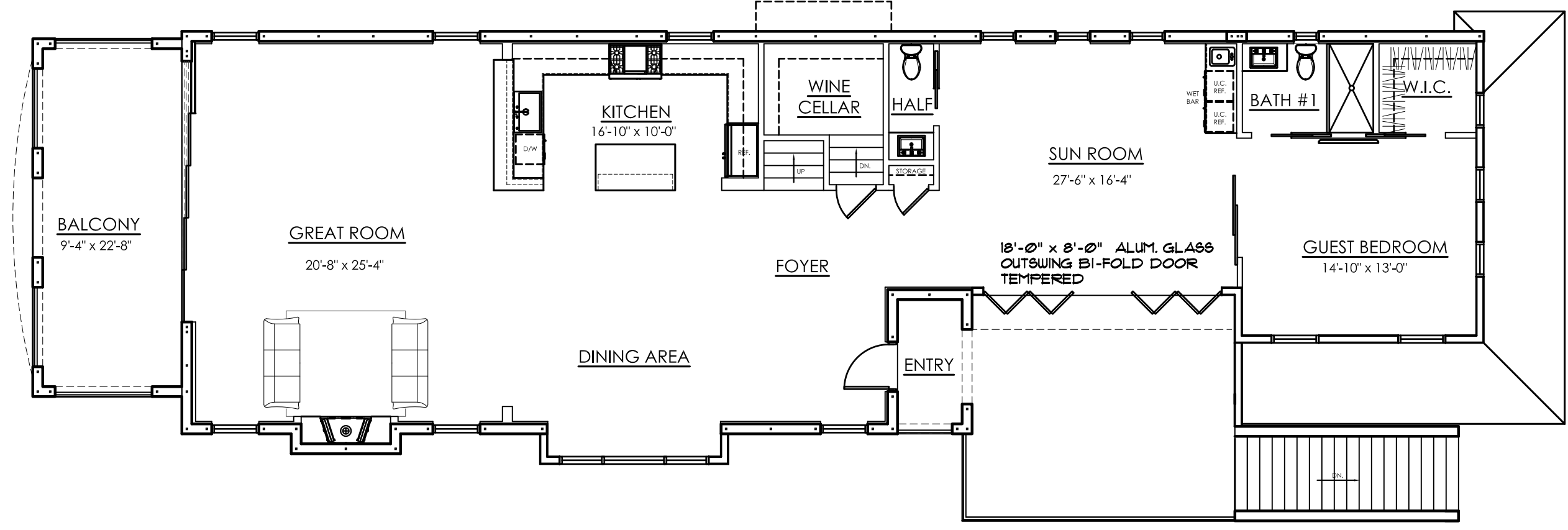
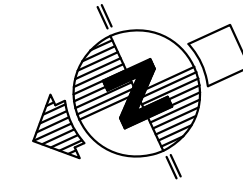
MICHAEL ARRIGO
LIC. NO. AR0201335

sp1.1



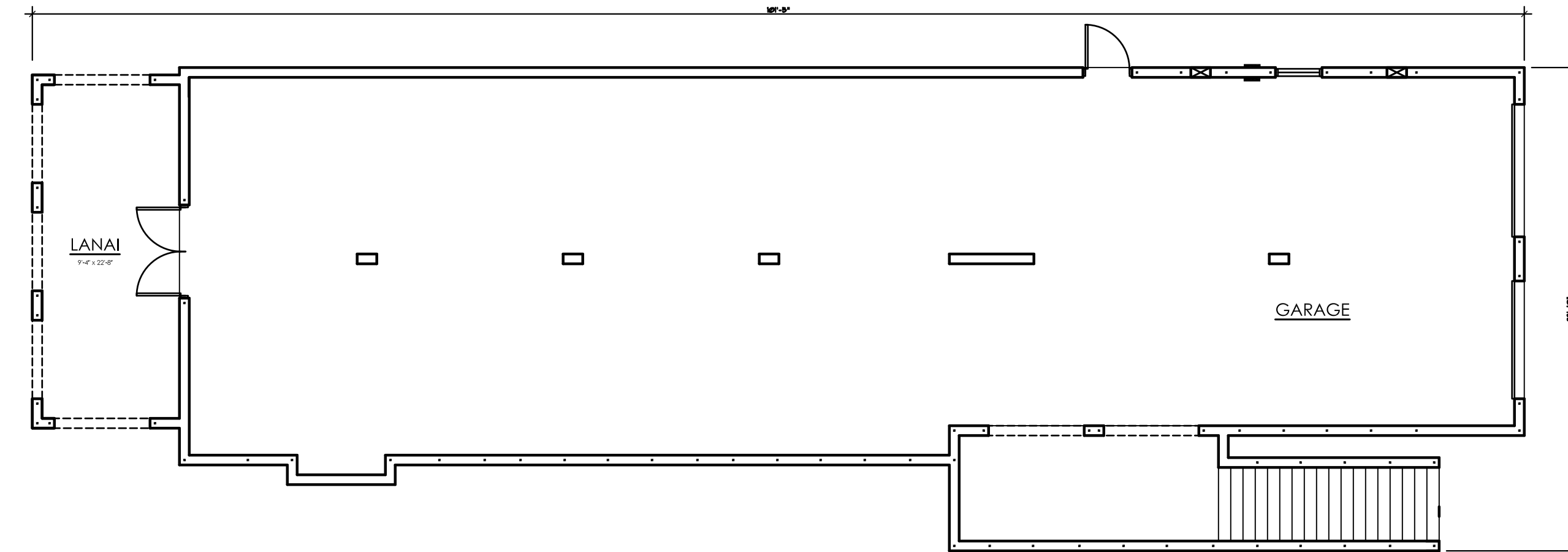
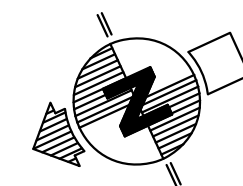
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" (IN FEET)



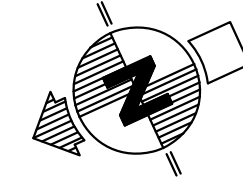
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" (IN FEET)



GROUND FLOOR PLAN

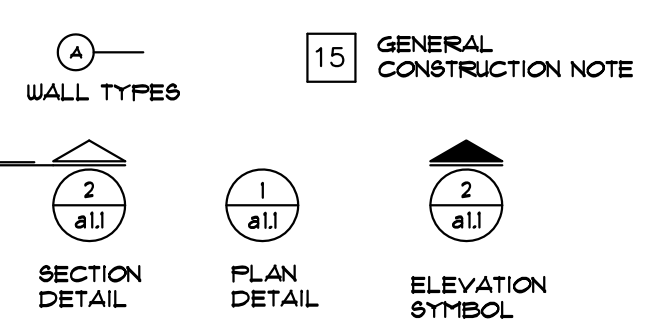
SCALE: 1/4"=1'-0" (IN FEET)



WALL TYPES:

SCALE: 1/2" = 1'-0"
 NOTES:
 1. PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD AT ALL CERAMIC TILE WALLS.
 2. THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS SHALL BE SEALED FROM MOISTURE AND AIR INFILTRATION.

LEGEND:



BUILDING DATA

THE BUILDING ADDITION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:
 FLORIDA BUILDING CODE 11TH EDITION (2020)
 FLORIDA MECHANICAL CODE 11TH EDITION (2020)
 FLORIDA PLUMBING CODE 11TH EDITION (2020)
 FLORIDA EXISTING BUILDING 11TH EDITION (2020)
 FLORIDA FUEL GAS 11TH EDITION (2020)
 FLORIDA BUILDING CODE-ENERGY CONSERVATION 11TH EDITION (2020)
 FLORIDA BUILDING CODE-TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES 11TH EDITION (2020)
 FLORIDA FIRE PREVENTION CODE 11TH EDITION
 FLORIDA ACCESSIBILITY CODE 11TH EDITION (2020)
 2011 NATIONAL ELECTRIC CODE (NFPA 70)
 FLOOD RESISTANT DESIGN 4 CONSTRUCTION ASCE 24-08 (FBC 10), 103, FBC RES R322)
 DESIGN LOADS PER STRUCTURAL DRAWINGS
 BUILDING OCCUPANCY: R-3
 CONSTRUCTION TYPE: TYPE V-B STUD EXTERIOR BUILDING UNSPRINKLERED OR III-B CMU EXTERIOR BEARING

GENERAL NOTES:

1. CONCRETE TILE BACKER ON ALL SHOWER AND TUB WALLS.
2. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES.
3. DOOR AND WINDOW OPENINGS THAT READ 3000, 20x40, ETC. ARE 3'-0"x8'-0", 2'-0"x4'-0", ETC.
4. COORDINATE ALL APPLIANCE AND PLUMBING FIXTURE OPENINGS WITH CABINETRY.
5. DIMENSIONS SHOWN ON PLANS ARE FROM FACE OF STUDS AND FACE OF MASONRY UNLESS SHOWN OTHERWISE. EXTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD.
6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
7. FOR ENERGY CODE COMPLIANCE ALL OPERATION MANUALS SHALL BE FURNISHED TO OWNER.
8. ANY "WORK" STARTED OR COMPLETED WITHOUT THE PROPER PERMITS OR INSPECTIONS IS SUBJECT TO REMOVAL. ALL "WORK" IS TO BE EXPOSED AND AVAILABLE FOR VISUAL INSPECTION.

AREA BREAKDOWN:

NEW SECOND FLOOR LIVING:	2,083 SQ. FT.
NEW THIRD FLOOR LIVING:	1,875 SQ. FT.
TOTAL NEW LIVING:	3,958 SQ. FT.
NEW GARAGE:	2,401 SQ. FT.
NEW GROUND FLOOR PORCHES:	240 SQ. FT.
NEW FIRST FLOOR PORCHES:	240 SQ. FT.
NEW SECOND FLOOR PORCHES:	293 SQ. FT.
TOTAL NEW PORCHES:	773 SQ. FT.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

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Credence Spec. Home 1
 New Residence
 1837 Bayou Grande Blvd. N.E.
 St. Petersburg, Florida

Floor Plan

Revisions:

Project No. 2022-116R
 Date: July 8, 2022

Not For Construction

MICHAEL ARRIGO
 LIC. NO. AR2011335

a1.1



1 FRONT ELEVATION

SCALE: 1/8"=1'-0" (IN FEET)

CONCRETE SHALL BE SET AT LEAST 1/4" FROM THE EXTERIOR FACE OF THE WALL AND AT LEAST 1/4" FROM THE TOP AND BOTTOM OF THE WALL. PROVIDE A MINIMUM OF 1/4" OF CONCRETE AT EACH CORNER AND JOINT.

IMPACT RESISTANT GLAZING AT ALL NEW DOORS AND WINDOWS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

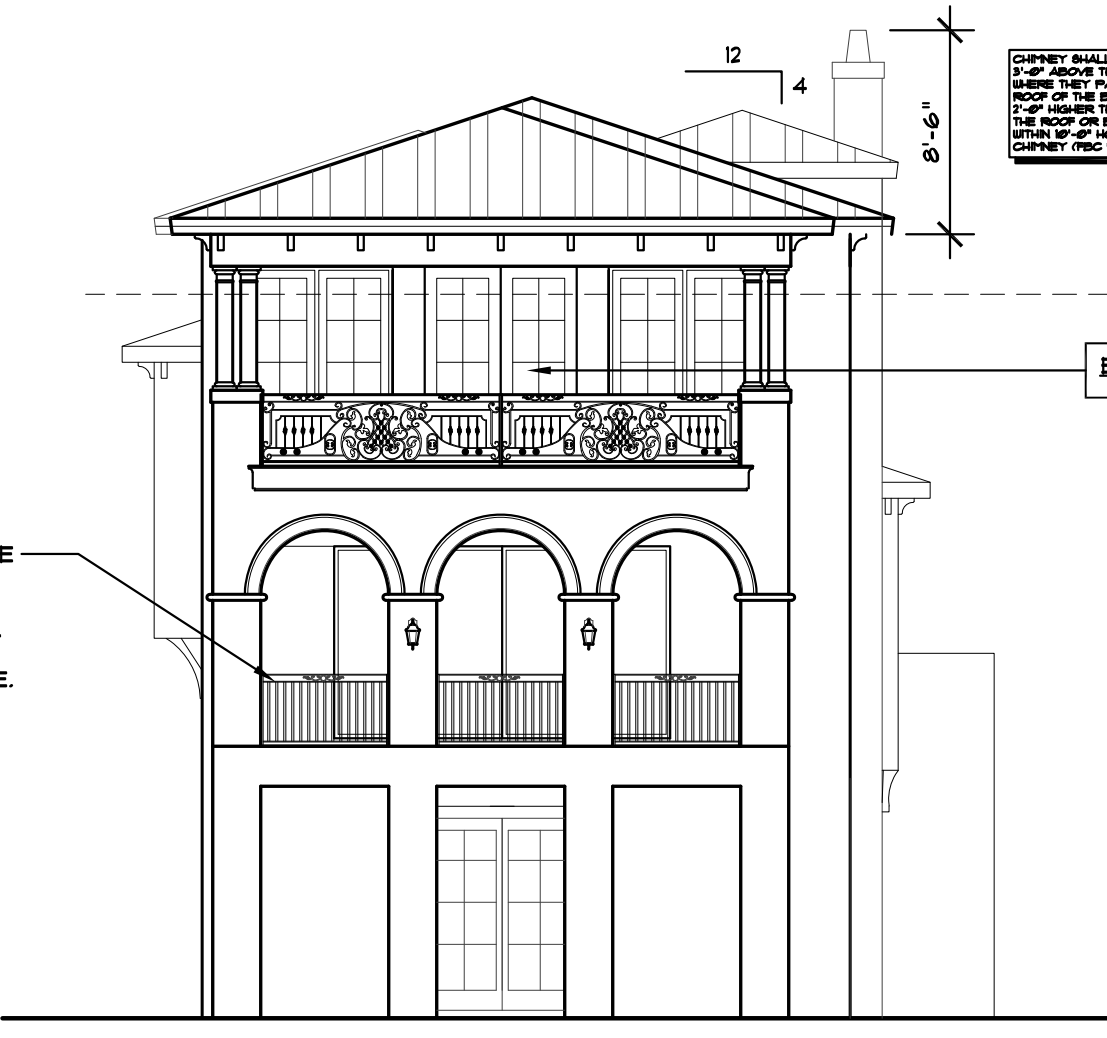


2 WEST ELEVATION

SCALE: 1/8"=1'-0" (IN FEET)

EMERGENCY ESCAPE WINDOW:
MAXIMUM SILL HEIGHT FROM FLOOR: 44"
MINIMUM CLEAR OPENING HEIGHT: 24"
MINIMUM CLEAR OPENING WIDTH: 20"
MINIMUM CLEAR OPENING AREA: 5.7 SQ. FT.
GROUND FLOOR CLEAR OPENING: 5.0 SQ. FT.

EMERGENCY ESCAPE WINDOW:
MAXIMUM SILL HEIGHT FROM FLOOR: 44"
MINIMUM CLEAR OPENING HEIGHT: 24"
MINIMUM CLEAR OPENING WIDTH: 20"
MINIMUM CLEAR OPENING AREA: 5.7 SQ. FT.
GROUND FLOOR CLEAR OPENING: 5.0 SQ. FT.



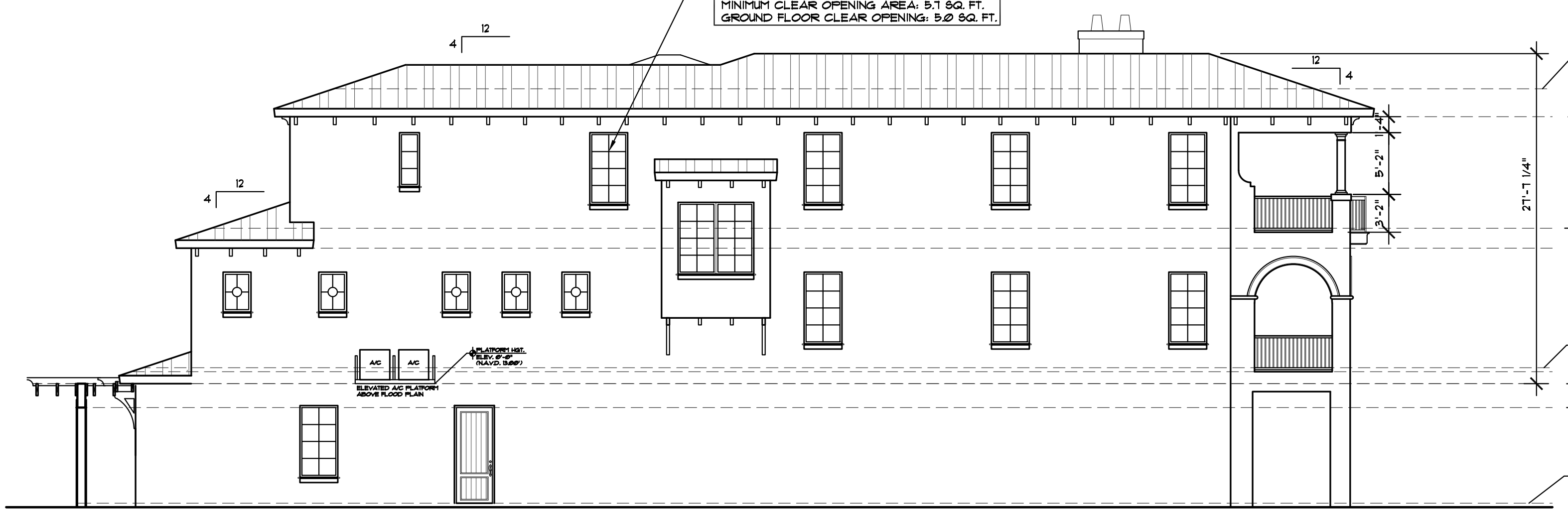
3 REAR ELEVATION

SCALE: 1/8"=1'-0" (IN FEET)

CONCRETE SHALL BE SET AT LEAST 1/4" FROM THE EXTERIOR FACE OF THE WALL AND AT LEAST 1/4" FROM THE TOP AND BOTTOM OF THE WALL. PROVIDE A MINIMUM OF 1/4" OF CONCRETE AT EACH CORNER AND JOINT.

EMERGENCY ESCAPE DOOR

IMPACT RESISTANT GLAZING AT ALL NEW DOORS AND WINDOWS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.



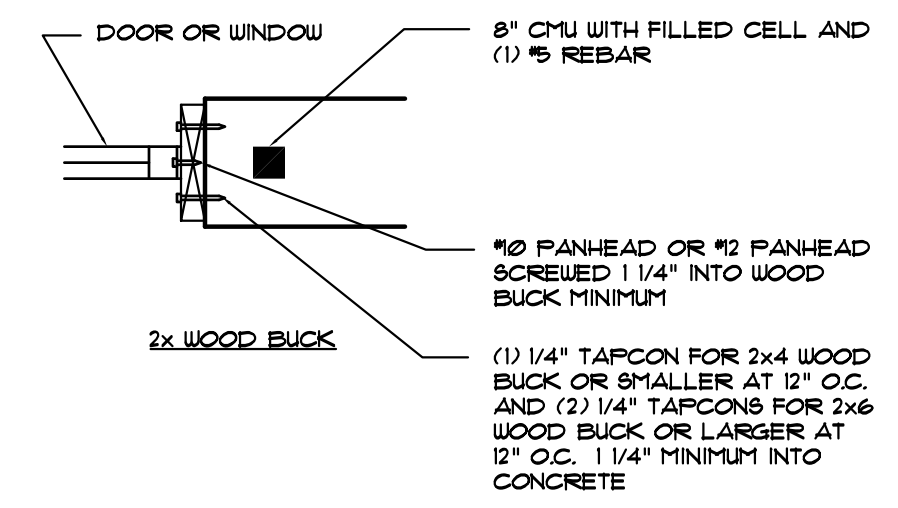
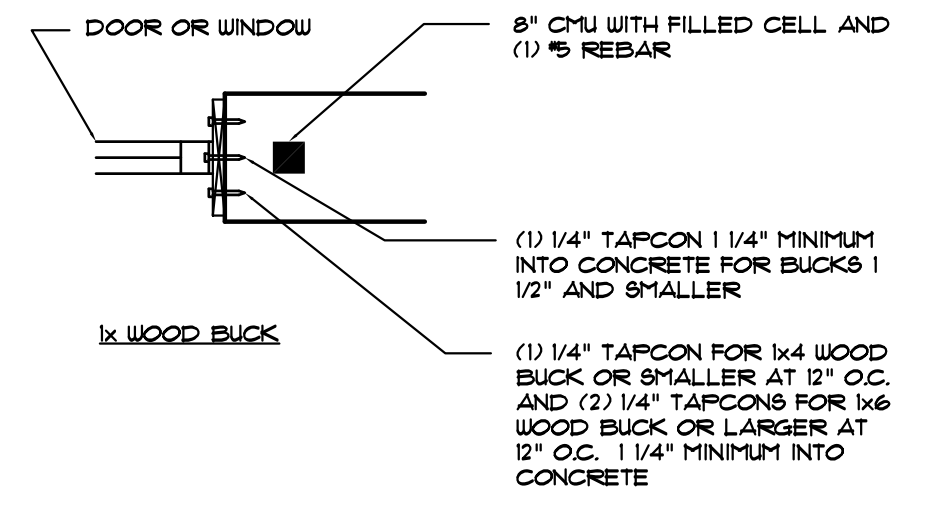
4 EAST ELEVATION

SCALE: 1/8"=1'-0" (IN FEET)

- TOUR TRUSS BEARING
ELEV. 34'-8" (NAVD. 0.00')
- TRUSS BEARING
ELEV. 32'-4" (NAVD. 0.00')
- THIRD FLOOR
ELEV. 23'-0 3/4" (NAVD. 0.00')
- SECOND FLOOR
ELEV. 11'-4 3/4" (NAVD. 0.00')
- DESIGN FLOOD ELEVATION
NAVD. 13.00'
- BASE FLOOD ELEVATION
NAVD. 11.00'
- FINISH FLOOR SLAB
ELEV. 0'-0" (NAVD. 0.00')
- BASE FLOOD ELEVATION
NAVD. 0.00'

GUARD RAILING. PROVIDE LESS THAN 4" SPACING BETWEEN PICKETS AND PROVIDE A BOTTOM RAIL THAT WILL REJECT THE PASSAGE OF A 2" SPHERE. RAILING SHALL BE 36" HIGH MINIMUM.

DOOR AND WINDOW FASTENING:



NOTES:
WHERE WOOD SHIM OR BUCK IS LESS THAN 1 1/2", WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED THROUGH THE JAMB. REFER TO 1x BUCK DETAIL ABOVE.
BUCK MUST BE ATTACHED TO TRANSFER THE LOAD TO THE SUBSTRATE.
BUCK MUST EXTEND BEYOND THE INTERIOR LIP OF THE WINDOW/DOOR PROVIDING FULL SUPPORT.
WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED AS SHOWN ABOVE OR PER MANUFACTURER'S RECOMMENDATIONS FOR THE DESIGNED LOADS (USE WORST CASE).
BUCK SHALL BE CONTINUOUS ON ALL SIDES OF FRAME.

DOOR/WINDOW PROTECTION:

R30212 OF THE FLORIDA BUILDING CODE SEVENTH EDITION (2010)
PROVIDE IMPACT RESISTANT GLAZING AT ALL DOORS AND WINDOWS ON THE FIRST AND SECOND FLOORS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

ELEVATION NOTES:

1. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES
2. DOOR AND WINDOW OPENINGS THAT READ 3000, 20x40, ETC. ARE 3'-0"x8'-0", 2'-0"x4'-0", ETC.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS CONFORM WITH THE MINIMUM BUILDING CODES.

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Credence Spec. Home 1
New Residence
1837 Bayou Grande Blvd. N.E.
St. Petersburg, Florida

Elevations	Revisions:
Project No. 2022-116R	Date July 8, 2022

Not For Construction

MICHAEL ARRIGO
LIC. NO. AR2011335

a2.1

From: [Kathleen Engelman](#)
To: [Candace A. Scott](#)
Cc: katengelman@gmail.com
Subject: Case No. 22-54000070
Date: Friday, February 17, 2023 1:31:05 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Scott,

I recently received notice regarding a public hearing for 1837 Bayou Grande Blvd NE. I am a neighbor located at 1855 Bayou Grande Blvd. NE.

The letter urges interested persons to contact you.

I am opposed to the split of the property at 1837 Bayou Grande and the variance that is being requested. I do not want to see our neighborhood become so tightly concentrated that when taking a walk, one wouldn't even know they were walking on a waterfront street. These houses will be too tightly spaced and cause our neighborhood to lose some of its appeal. I feel strongly that if this variant is granted, many other lots will seek to be divided in order to max their profits and the entire complexion of the neighborhood will begin to look like an inner city rather than estate homes on the beautiful Tampa Bay.

Do I need to attend the hearing to make my voice heard or is this email to you enough to suffice?

Thank you for your attention to this matter.

Sincerely,

Kathleen Engelman

--

Kathleen "Katie" Engelman, Esq.
Engelman Law Firm, P.A. / Luxury & Beach Realty
engelmanlaw.com
katengelman@gmail.com 727-688-3044

"Things that matter most must never be at the mercy of things that matter least." - Goethe

From: [Vashun Rodriguez](#)
To: [Candace A. Scott](#)
Subject: Variance on 1837 bayou grande
Date: Tuesday, February 21, 2023 10:13:24 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Ms. Scott,

We would like to state our opposition to the proposed plan to divide the existing lot into two separate lots. My wife and I live at 1851 Bayou Grande.

We want to maintain the integrity of our neighborhood rather than parsing existing lots into smaller divisions.

Sincerely,

Vashun Rodriguez